

Heritage Impact Assessment

147 Spadina Ave
Toronto, Ont.



For : Hullmark

PHILIP GOLDSMITH | ARCHITECT
06 September 2023 revised

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1.0 Introduction

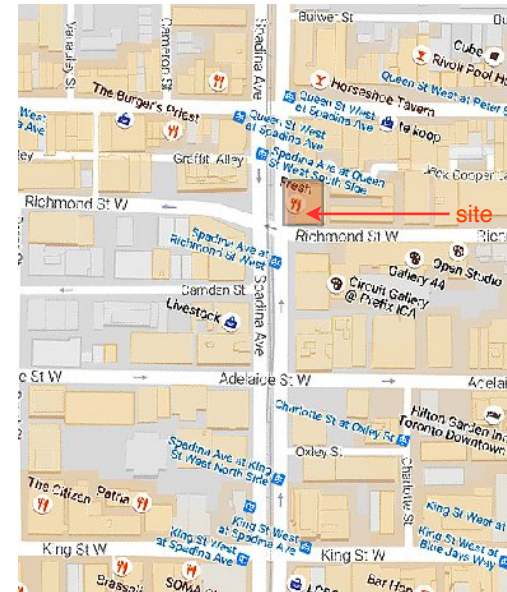
Philip Goldsmith Architect was asked to undertake a Heritage Impact Assessment of the existing property at 147 Spadina Ave. in Toronto. This property is located on the west side of Spadina Ave. on the north west corner of Spadina Ave. and Richmond St. West and includes a 2 storey building constructed c 1936. This property is identified as contributing in the King Spadina HCD Plan (not in force-under appeal) and was included in the Registry of Heritage Properties (listed) in a batch listing of all contributing properties identified in the HCD Plan in 2017.

The existing building is a simple structure with very few remaining design features. It was constructed in 1936 in a late Art Deco style as a simple brick buildings with a grid of large punched windows in a brick wall with pilasters symmetrically placed to each side of a large decorative stone entrance surround, the primary stylistic feature of the building. It was reduced in size in the 1960s when the southerly two bays were removed for the realignment of Richmond Street and the decorative central entrance surround and all original large windows removed in the 1980s when the building was renovated.

A proposal for the redevelopment of the site has been prepared by Audax Architecture on behalf of the owner Hullmark. This HIA has been revised in response to the current proposal and refers to drawings dated 01 September 2023 and the City of Toronto terms of reference for an HIA.

As a part of the proposal for redevelopment, the existing building is to be removed and replaced by a 24 storey, plus mechanical, mixed use building with a design that is inspired by period designs of the first half of the 20th century and reflects the design language of period warehouses found locally in a modern idiom.

This HIA considers the Heritage Significance of this batch listed property considering criteria in the Ontario Heritage Act (OHA) O. Reg 9/06 to consider if it is worthy of continuing recognition given its history of partial demolition and loss of design features, the impact to the site specifically and the impact to the context generally,



1. Site Location. Google Map



2. Aerial view of site. Google Map

including to the Queen St. West HCD which is not immediately adjacent but close by to the north.

There are no contiguous-adjacent recognized Heritage Properties, nearby-adjacent recognized Heritage Properties include;

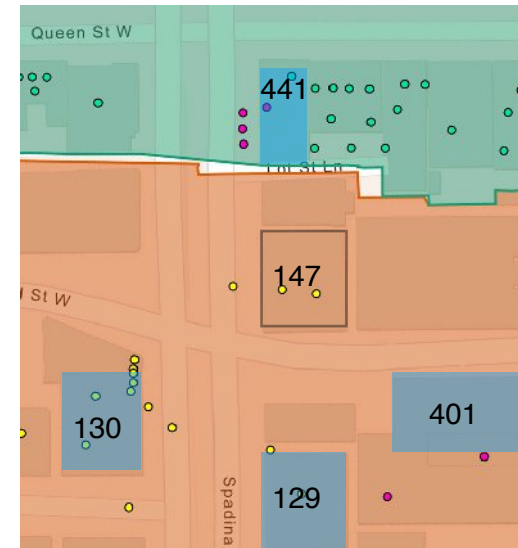
- Diagonally opposite SW, 130 Spadina Ave, The Fashion Building, Listed
- Diagonally opposite SE, 401 Richmond St, Designated
- South 1 property removed, 129 Spadina, The Spadina Building, Listed
- North 1 property removed, Queen Street W HCD
- North 1 property removed, 441 Queen St. W (163 Spadina), Oddfellow's Hall, Designated

This HIA will also consider and comment on the proposed design relative to the objectives in the proposed King Spadina HCD Plan.

Historically, the Russell family acquired the Park Lots 14 and 15 north of Lot St. (Queen St.) c.1800. The Baldwin Family acquired their lands in as part of Lot 24 Second Concession also c1800. In 1818 The Baldwin family home was built on the bluffs of the escarpment overlooking Toronto, which they called Spadina. In 1822 Elizabeth Russell died and left much of her property to Phoebe Baldwin and Maria Wilcocks resulting in the consolidation of all the lands between Queen St. and St. Clair to the Baldwin family.

Spadina is a wide north-south Avenue laid out by Dr. William Baldwin in 1836. Spadina Avenue takes its name from their home, and aligns with the house, Spadina, at the north end above Davenport Road. It was intended to provided a clear axial view of the lake from the grounds of the house.

Initially a largely residential street, it rapidly redeveloped as a commercial street as residential neighbourhoods expanded west from the core and intensified, and even



3. Map of Heritage Register. City of Toronto.

more significantly later as the warehouse-light industrial area of Toronto shifted west to take advantage of the railways, particularly after the great fire of 1904.

The building at 147 Spadina Ave. was one of these commercial buildings constructed later in this redevelopment period in 1936 in the Art Moderne style.

Once more today the area is changing with an influx of new development.

The site to the east, District Lofts, 388 Richmond St. West, was rebuilt a few years ago to be a mixed commercial residential project. Similarly, across Spadina to the west, buildings were replaced by a contemporary tower residential commercial project at 431 Richmond W. and The Morgan in a historically derivative style at 438 Richmond W.

My assessment concentrates on the heritage values incumbent in the building and is based on the nine criteria for heritage value as set out in the O. Reg. 9/06 of the Ontario Heritage Act and guidelines in the Ontario Heritage Tool Kit. These are in the primary categories of Design, Association and Context.

This Assessment expresses the opinions of the author only. In undertaking this assessment, no input was received from authorities at the City of Toronto, Heritage Preservation Services, Planning or the area City Councillor. My opinions are based solely on our experience with this type of work.

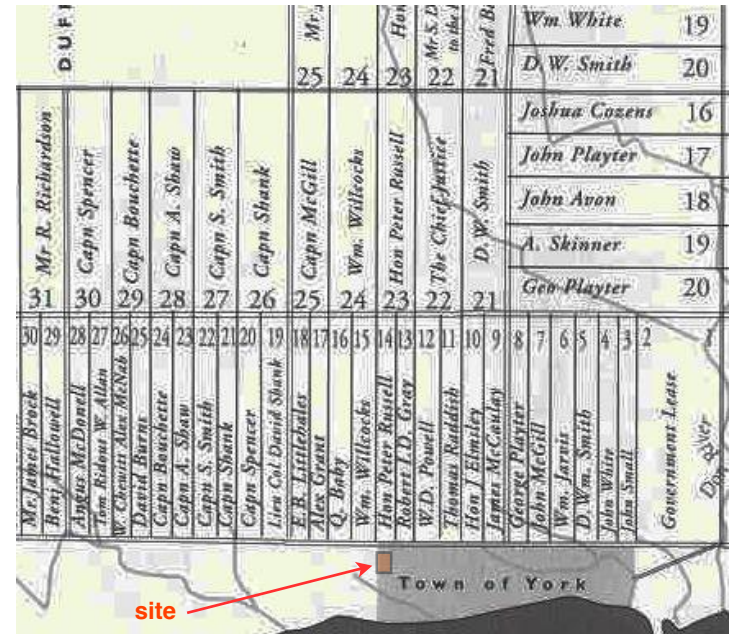
2.0 Background Research and Analysis

2.1 Context and Setting

Toronto’s distinctive north-south grid plan design was the result of John Graves Simcoe’s original plan to compensate senior provincial officials with gifts of 100 acre “park lots” that would be suitable for English style country estates. These 100-acre park lots had a narrow frontage of 660 feet and extended from Lot Street (today’s Queen Street) in the south. The lots were 6,600 feet deep extending to today’s Bloor Street in the north allowing owners a view and access to the town and harbour.

Simcoe also reserved 6 acres on King Street, north of Front Street, for public buildings that would define the civic core and establish this significant area. In the decade before the Town of York was incorporated as Toronto, several important public buildings were constructed on King Street West including; Upper Canada College (1829- 1831, demolished 1901) and the third Parliament Buildings (1829-32, demolished 1901) located on the north side of Front Street between Simcoe and John Streets. Government House, the official residence of the Lieutenant Governor, an early building dating from 1815, stood on the southwest corner of King and Simcoe Streets (the present site of Roy Thompson Hall).

Wood predominated as an early building material. Brick was used for the important civic buildings such as the Parliament Buildings setting an important precedent and establishing brick construction as the style of the establishment. In the 1830s, when the streets were extended to the east, west and north, these new areas were planned as a distinguished, high quality residential district incorporating a British Georgian style town plan which often combined straight streets with squares, circles and crescents incorporating elegant terraces houses.



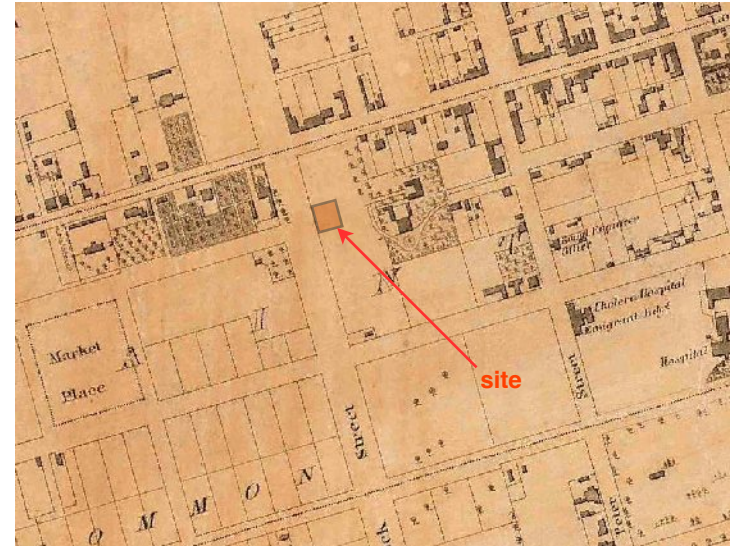
4. Map of Toronto environs showing land grants north of Lot St (Queen St) , PGA

Many streets were made up of significant residential brick buildings intermixed with less substantial wooden buildings erected on the surrounding lots. King Street would not only be the location of major civic buildings but would define the commercial core as well.

Prior to 1884, Spadina Avenue was known as Brock Street south of Queen Street. The term Spadina was used by William Warren Baldwin in 1818. Baldwin (1775-1844) was the eldest son of Robert Baldwin who followed the Willcocks family from Ireland to Upper Canada in 1798. William had studied medicine and also studied law. In 1803, he married Phoebe Willcocks.

In 1813, after the death of Phoebe's father, William and Phoebe Baldwin inherited lot 24 in the second concession, a two hundred acre site. William built a family home on the property in 1818 and named it Spadina (pronounced "Spadeena") after the native term "espadinong" meaning hill. It was located north of the present day Davenport Road east of the present day Casa Loma.

In 1822, Elizabeth Russell died leaving most of her property to Phoebe Baldwin and her sister Maria Willcocks, who also resided at Spadina. Dr. Baldwin began to subdivide the Russell property south of Bloor Street into residential lots. He designed a grand avenue as part of this area. Spadina Avenue was laid out in 1836, an impressive thoroughfare measuring 132 feet in width between lots 14 and 15. It was lined with imported chestnut trees and provided a view to the lake from the vantage point of Spadina House on the hill. Many of the streets Baldwin established were named for members of Baldwin's family: Baldwin, Russell, Robert, Phoebe, Heyden, Sullivan, St. George, Willcocks and Maria.



5 Cane map of Toronto, 1842, there is no development on Brock St (now Spadina) The McLean estate is to the right of the 147 site.

2.2 King Spadina Area

The King-Spadina neighbourhood is an area defined by Simcoe Street in the east, Front Street in the south, Bathurst Street in the west and Queen Street West to the north. Originally, the area was part of the military reserve land.

In 1829, Upper Canada College, a private boy's school established a campus in the area. The campus extended north from King Street West to Adelaide Street between John Street in the west and Simcoe Street in the east, an area referred to as Russell Square. By the 1850s, as the railway intersected the King-Spadina area of Toronto, the character of the area began to change from residential to more industrial. King Street became the primary commercial artery with Spadina Avenue one of the main crossroads.

By the turn of the century, the area changed from an institutional enclave surrounded by residential areas to a new manufacturing district which expanded even further after the Great Fire of 1904. By the early twentieth century the area had been converted to an industrial district with a manufacturing base that became a core industrial centre after World War I. The Great Fire of 1904 contributed to the relocation of the wholesale manufacturing district located at Bay Street to the King-Spadina area. Rebuilding could begin immediately after the fire with no delays as the former wholesale business district was cleaned up after the fire.

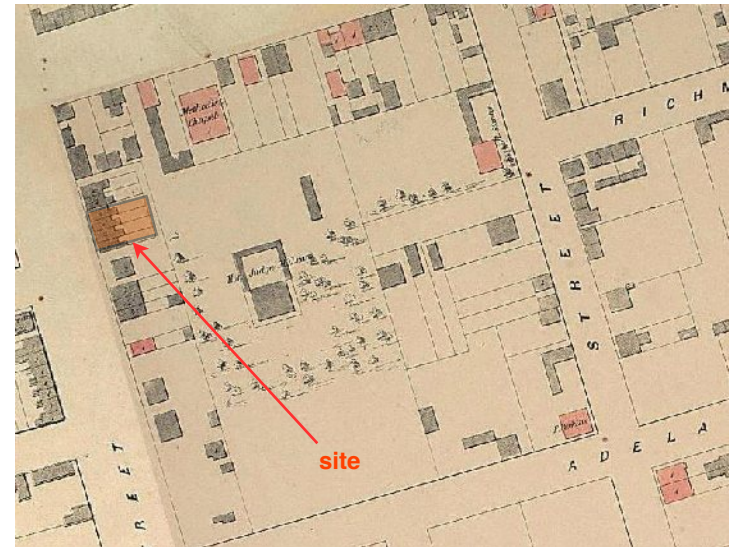
The King-Spadina area became the new location for the garment industry. With increased immigration in the early twentieth century, the area attracted a growing immigrant population that worked in these industries. While the garment industry dominated the manufacturing district, printing and publishing businesses were also important to the area. The King and Spadina area has been identified by the City of

Toronto as an area that has the largest surviving collection of manufacturing and warehouse buildings in Canada. Over one hundred and twelve properties in the King-Spadina area have been identified and included on the City of Toronto Inventory of Heritage Properties. The King-Spadina area remained an active industrial area until the 1950s. However, land was abundant in the suburbs, taxes were lower and new highways provided alternate shipping routes. As transportation routes changed, there was less of a reliance on the railway for shipping and the trucking industry began to dominate the shipping of goods, so many industries moved from the King-Spadina core to the suburbs. Many of the former industrial buildings were vacant or under-utilized.

To allow for conversions to commercial and residential projects in an effort to revitalize the area, the city changed the restrictive zoning in this former manufacturing area. The area also underwent a revitalization on King Street West near the Royal Alexandra Theatre when the theatre was purchased by Ed Mirvish (1914-2007) and adjoining warehouses were converted to restaurants. Across the street the railway sold its yards and the site used for the location of Roy Thompson Hall (1982) and Metro Hall. The Princess of Wales Theatre was also adding on the Mirvish lands in 1993.

2.3 Spadina Avenue and Richmond Street

In the early history of the Town of York, the area near Spadina Avenue and Richmond Street was originally part of the estate of John Henry Dunn, Receiver General of Upper Canada. A two-storey frame house was constructed in 1820 and the Dunn family resided there until 1835. The property extended south to Adelaide Street, west to Brock (Spadina) Street, and about 400 feet north to Queen Street. In 1837, the house was purchased by Chief Justice McLean who resided there until his death in 1865. His son, A.G. McLean took over the ownership



6. Boulton map of Toronto 1858. Housing has been developed along the west edge of the McLean estate and the street allowance widened.

of the house at this time. Prior to the death of Judge McLean, the land around the house was sold off until the house sat on only three acres of land. Access to the house was via Catherine Street on the eastern portion of the property. Richmond Street which ended at Peter Street would later be extended to Spadina Avenue incorporating Catherine Street. The Boulton Map of 1858 indicates that a series of frame townhouse style residential buildings had been constructed on lots on the east side of Brock Street. Within the block where the present day 161 and 147 Spadina Avenue are located, a series of six residential townhouses were constructed. Additionally, another smaller square frame building which had a setback and three more townhouses were built south of this row.

In 1889-90, architect William Langton Alexander (1854-1933) designed St. Margaret's Anglican Church which was constructed in the location of three of the six townhouse residences. The church building is still located at 161 Spadina Avenue beside 147 Spadina. The building façade was altered with a new front in the 1930s which was attached to the front of the church building. The peak of the church façade is still visible above the new front. The church remained in use until 1911 when it was converted to a factory for Caulfield, Burns and Gibson who made men's furnishings and Waldman-Wilson who produced woman's clothing including suits, coats and skirts.

By 1903, Richmond Street had still not been extended to Spadina Avenue. In 1899, the Macdonald Manufacturing Co. Ltd. built a large factory building that was numbered 143-45 Spadina Avenue. The company produced tinware designed with lithographic images for tea, biscuits, coffee, spices, and baking powder. This was the first building that was completed that is now part of the complex known as 401 Richmond Street West. The building was expanded to the west, north and northeast. The first building was two storeys high with a basement and 240 feet by 60 feet in dimension.



City of Toronto Archives, Series 372, s0372_s0032_10509

7. Image of townhouses on Spadina c1850 at 124-132 (similar to 147 site). These were condemned by The City in 1917. Toronto Archives



City of Toronto Archives, Fonds 1244, Item 1735

8. View of St. Margaret's Church and townhouses just to the right, site of the current 147 Spadina. Toronto Archives

In 1909, on the north side of Richmond Street opposite the MacDonald Manufacturing buildings another warehouse building was constructed for Rudd Paper Box Co. designed by architect Ashton Spencer Pentecost (1863-1936)¹. In 1910, development along Richmond Street continued with the construction of the Consolidated Optical Co. buildings designed by architects Denison & Stephenson². The Consolidated Optical two-storey factory building was built on a piece of land that extended out causing a sharp curve in Richmond Street at this location. A second four-storey building was constructed on Richmond Street and joined by an addition to the factory building.

City directory listings of 1925 indicate the factory building that was part of Consolidated Optical Co. numbered 147-151 Spadina was now occupied by Hallman & Sable fur dressers. There were still two residences listed between that building and the former St. Margaret's Church numbered 161 Spadina which continued to be occupied by the business of Caulfield, Burns and Gibson.



9. Goad's Atlas 1899 showing the location of St. Margaret's just north and the townhouses on the site of 147 Spadina



10. Goad's Atlas 1903 showing the McLean estate demolished and the MacDonald manufacturing building addressed at 143-145 Spadina

¹ Toronto Building Permit 16091, 26 June 1909

² Toronto Building Permit 24140, 27 October 1910



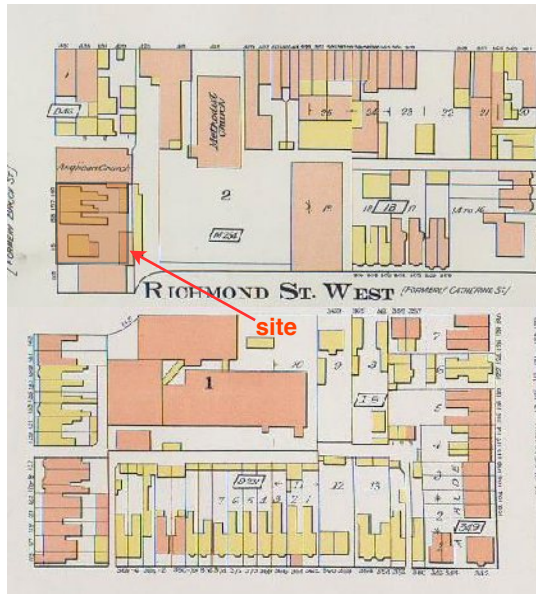
City of Toronto Archives, Series 273, 10275_50005_1008-4

11. View c 1890s looking south east with St. Margaret's, to the left, and to the site indicated to the right. Toronto Archives



City of Toronto Archives, Series 317, 53372_50005_1011-5

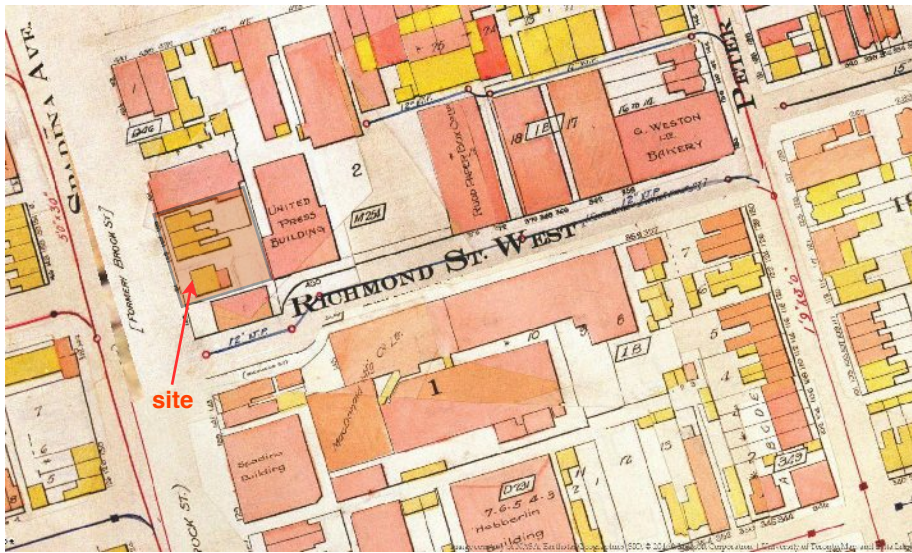
12. View of Richmond Street looking west c1912. To the left is 401 Richmond, to the right the Rudd Paper Box building, in the centre distance is the Consolidated Optical building around which Richmond St. W. curves.. Toronto Archives



13. Left, Goad's Atlas 1910, 401 Richmond has been constructed, Richmond Street extended and the Consolidated Optical Factory built forcing Richmond St. to curve around the building.



14. Right, Goad's Atlas 1913. The Consolidated Optical Building was expanded with an addition to the north west on Richmond Street.



15. Goads Atlas 1924, the Optical building on Richmond is now the United Press. Note the changes to the south of the site where row houses were replaced by commercial buildings. A few townhouses continue to survive on the west side of Spadina

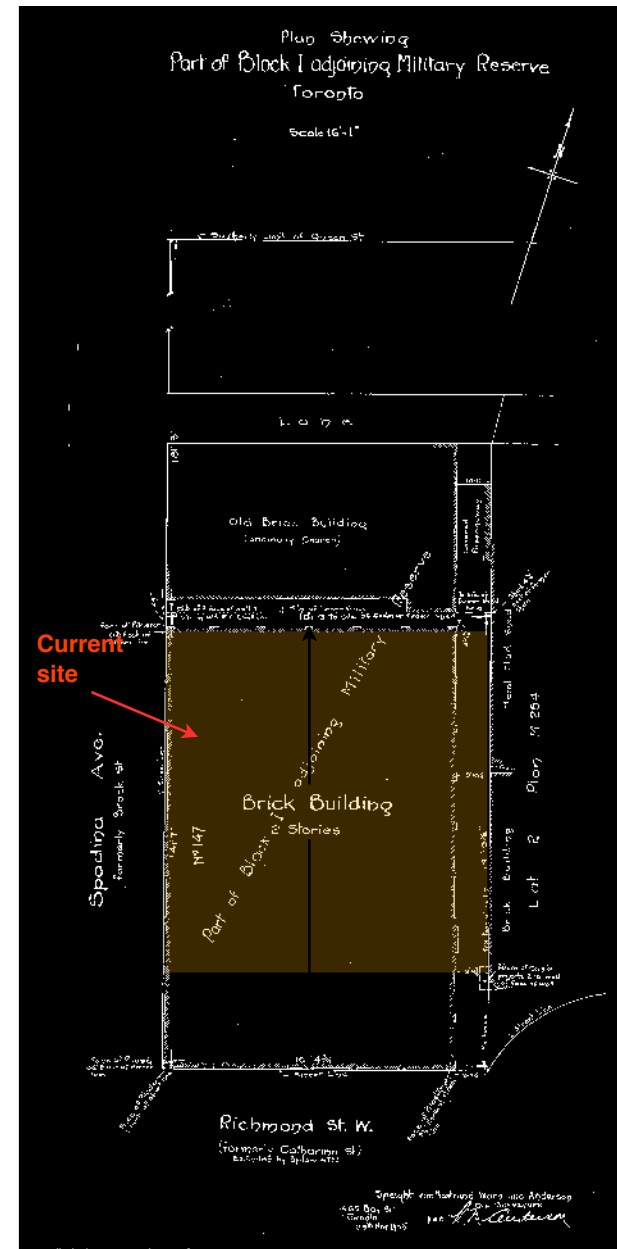
2.4 147 Spadina Ave.

By 1931, the old townhouses at 147-159 Spadina were vacant and remained vacant until 1934. By 1936, the vacant buildings were removed and a new building was constructed in the lots to the south of 161 Spadina Avenue. The building now numbered 147 Spadina had 8 units plus an additional address of 147-159 Spadina and second floor tenants listed in the city directory.

At this time, Richmond Street was straightened with the removal of the 1910 Consolidated Optical Factory Building, and the lot no longer projected into Richmond Street. This resulted in the lot for the new building at 147 Spadina Ave. becoming a corner lot.

The first occupants of the new building numbered 147 Spadina Avenue were several Jewish garment industry businesses that were based in Montreal. In 1937, the businesses included: 1 – Seagall & Stark Ladies Wear, 2 – Laboff Bros Inc. (Montreal), 3 – Stein Bros. Inc. Ready to Wear, 4 – Sternthal Dress Co. Montreal, 5 – Stella Dress Co., 6 - International Dress, 7 - Bernard (Bernad) Dress Inc. Montreal, 8 – Ideal Dress Co. Montreal. By 1938, Lucerne Dress Inc. and Lady Lee Frocks who were located in Phillips Place in Montreal had taken occupancy of 147 Spadina Avenue.

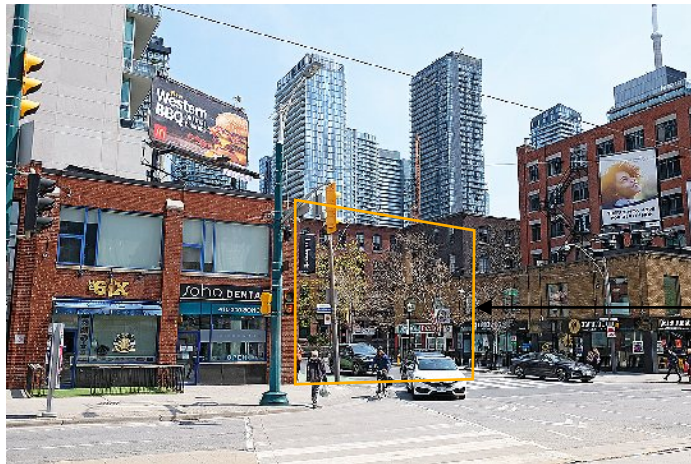
16. Survey of site c 1936 when the buildings was constructed prior to the straightening of Richmond Street which continued to be offset and wrap the site to the south.





17. Photo of building south end prior to the removal of the south 2 bays. 147 Spadina was initially constructed symmetrically around the front entrance

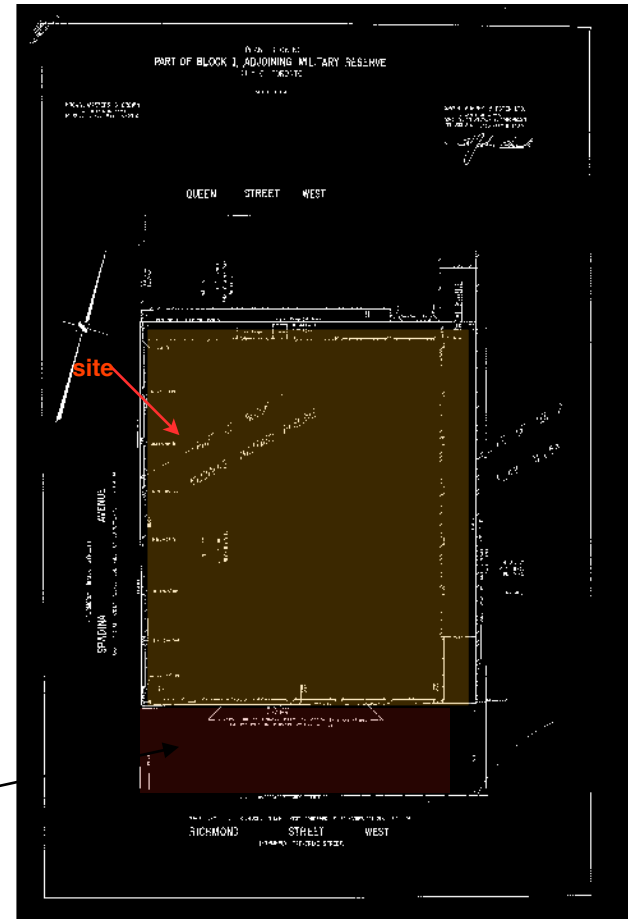
These two bays have been later demolished to straighten Richmond Street



Demolished

19. Similar view today

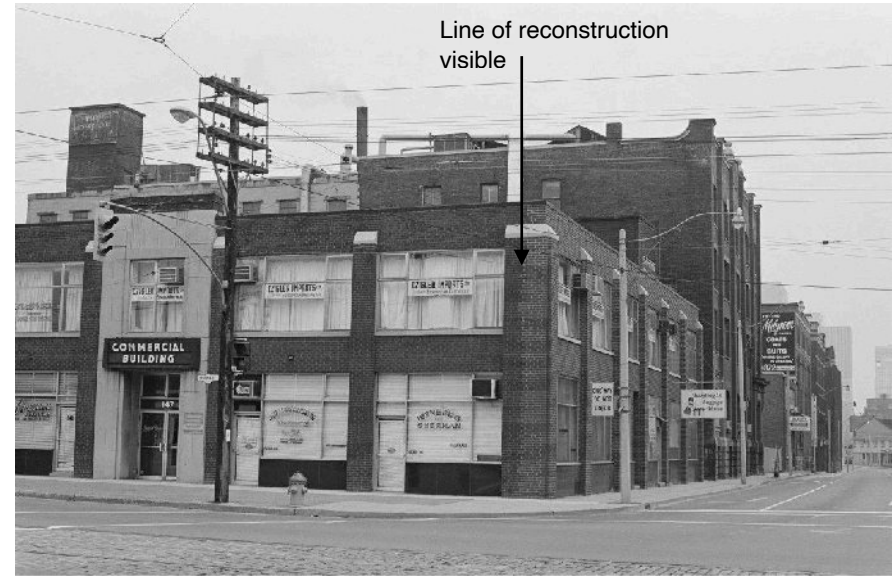
These two building bays were demolished for the straightening of Richmond street to allow for offset intersection to Richmond Street to the west



18. Site survey 1980 illustrating the smaller building



City of Toronto Archives, Fonds 2032, Series 841, File 47, Item 35
 20. Front View of 147 Spadina c1970 with 401 Richmond to the right after street realignment. Toronto Archives



City of Toronto Archives, Fonds 2032, Series 841, File 47, Item 35
 21. View of 147 Spadina c1970 before building renovations. The Richmond St. portion of the Consolidated Optical Building complex remains behind 147 however 2 bays of 147 at the corner were removed and Richmond straightened. Toronto Archives.

2.5 Architectural Style

Although a simple brick commercial building then as today, as it was designed originally the building had more architectural interest. As seen in the photo from 1970 prior to renovations in approximately the 1980s this 1936 building had additional detailing at the front entrance and in the pattern of window frames. The front entrance was a stone bay within the overall composition. This bay included flattened columns, a stone return to the entrance and pattern stone in the entablature, an architectural feature which placed the building in the late Art Deco Style sometimes referred to as Art Moderne.

The term Art Deco was taken from the Exposition International des Arts Décoratifs et Industriels Moderns, an international trade show that was

held in Paris in 1925 that featured the latest in decorative arts. Many architects in Toronto were exposed to Art Deco design at this time and Art Deco motifs began to be incorporated into their new building designs.

The Art Deco period in Toronto occurred between the years 1925 to 1945. There were a number of significant Art Deco buildings completed during this period. In the economic boom during the years 1928-1929, projects introduced the Art Deco style including Eaton's College Street in 1928. The CNE would also become a grand exhibition ground incorporating permanent buildings in the latest architectural style. When the economy failed in 1929, many of the grander plans were shelved. However, the Art Deco and Art Moderne style continued to be popularized when the style was incorporated into the design for many different types of functional buildings; office buildings including skyscrapers, financial towers, headquarters for newspapers and power companies; commercial buildings including warehouses, showrooms, factories and department stores; civic buildings including exhibition buildings, fire stations, federal buildings, hospitals, schools; apartments and houses; and the city's movie theatres.

The Art Deco style in Toronto has been identified as having three different variants; the 1920s Deco Style also referred to as the Zigzag; the Stripped Classical and Art Moderne. Many Art Deco styled skyscrapers were built in Toronto in the late 1920s. These incorporated the six basic characteristics of 1920s Art Deco style; symmetrical designs; vertical massing with windows arranged in vertical strips not horizontal bands; the designs incorporated pyramidal massing stepping back as they rise in height; building surfaces were layered with multiple planes especially around doors, windows and building corners; materials were luxurious or innovative such as cast stone, vitrolite, glass block and stainless steel; decoration was incorporated on the exterior around the main entry, roofline, and corners, and on the



22. Detail of the front entrance to 147. The entrance surround and window patterns are of an Art Moderne style. Toronto Archives



23. The same view today. Note the loss of the Art Moderne entrance surround and the historic window patterns. This diminishes the design significance of the building. PGA

interior in the foyers, elevators, doors, air grilles, mouldings and floor patterns³.

When the Depression occurred, tall buildings were no longer being built. This phase of the Art Deco style is referred to as the Streamlined Moderne and also referred to as Style Moderne, Art Moderne or Depression Modern. The streamlined form was associated with progress and the hopes of a more promising future. These building designs incorporated lower height, an emphasis on the horizontal, sometimes rounded buildings corners or building details such as main entries and porthole windows that were either octagonal or round⁴.

3.0 Statement of Significance

The property at 147 Spadina Ave is listed in the Heritage Register for the City of Toronto as a result of having been identified as a contributing property in the King Spadina HCD Plan (under appeal, not in force). There is no bylaw, or “reasons” for this listing specifically available from the City of Toronto at this time except as included in the KS HCD Study. I have reproduced the listing here. In addition to the description in the HCD Study, I have assessed the heritage significance of 147 Spadina using Provincial Criteria in Reg 9/06 of the Ontario Heritage Act below.

3.1 King Spadina HCD Plan

The work of the King Spadina HCD Study was completed in 2014 and has been accepted by the City of Toronto and forms the basis for the King Spadina HCD Plan of June 2017 (under appeal, not in force.)

³ Morawetz, Tim. Art deco Architecture in Toronto, Toronto 2009, pg 4.



⁴ Morawetz, Tim. Art deco Architecture in Toronto, Toronto 2009, pg 5.

Heritage Property Detail	
Print Page	
Address:	147 SPADINA AVE
Ward:	10
Status:	Listed
List Date:	Dec 5, 2017
Intention Date:	
By-Law:	N/A
Part IV Date:	
Part V Date:	
Heritage District:	N/A
District Status:	contributing
Heritage Easement Ag:	
Registration Date:	
Building Type:	Miscellaneous
Architect/Builder:	
Construction Yr.:	
Details:	Included on the City's Heritage Register on December 5, 2017. Also, part of the King-Spadina Heritage Conservation District, adopted by City Council on October 4, 2017, by by-law 1241-2017, which is currently under appeal.
Demolition Date:	
Primary Address:	147 SPADINA AVE

24. Listing in Heritage Register. City of Toronto

The HCD Plan identifies this Building as contributing for all three criteria; Design, Association and Context with no additional analysis.

#	Primary Address	Character Sub-Area	Heritage Status
254	117 Spadina Avenue	Spadina Avenue	Listed
255	126 Spadina Avenue	Spadina Avenue	Listed
256	129 Spadina Avenue	Spadina Avenue	
257	147 Spadina Avenue	Spadina Avenue	
258	46 Stewart Street		

KEY IMAGE	ADDRESS	STATUS	CONTRIBUTION	BUILT	CHARACTER SUB-AREA	BUILDING TYPOLOGY	STYLE
	147 Spadina Avenue (including 412 Richmond Street West)		Design Historical Contextual	1939	Spadina Avenue	Commercial Detached	Art Moderne
	46 Stewart Street						

In section 5.4 The narrow service space to the east rear of the building is noted as being part of the King Spadina network of lanes. The plan notes “Individual laneways within the network facilitate views between blocks, serve as pedestrian mid-block connections, and provide service access for businesses. The network of laneways also provides variety in the scale...” (pg 56)

In Section 5.5 This property is noted as being within the Spadina Avenue Character Sub-Area. The Plan notes “Each Character Sub-Area has a distinct character rooted in its historical evolution and which continues to be evident today, however they all contribute to the District’s integrity, and when combined convey the District’s cultural heritage value.

Policies and guidelines within this HCD Plan have been developed to pay particular attention to the specific characteristics that define these Character Sub-Areas, and to ensure new development is compatible with and enhances their heritage value.(pg 58)

Section 5.5.3 notes, “The built form of the Spadina Avenue Character Sub- Area is generally defined by Commercial Detached properties with large floor plates and in a range of architectural styles. Many of these buildings have visible side walls, a defined base, shaft and roofline, and service access through side and rear laneways.”(pg 64)

The grand avenue design envisioned by Baldwin is still evident in the public realm, defined by the wide right-of-way with trees and centre median (now a streetcar right-of-way). Wide sidewalks with tree planters separating pedestrians from traffic enhance the pedestrian experience, and support an understanding of the civic design of Spadina Avenue as a major artery within the downtown core.” (pg 64)

In Section 5.7, This property is noted as having no Archaeological Potential, reference Map pg 70 and is not included in Table 2 pg 125 “Properties with Generalized Archaeological Potential...”.

3.2 Heritage Assessment

I have found no assessment of this property through the City of Toronto Listing on the Heritage Register nor the rationale for it being listed as contributing to the HCD based on O.Reg 9/06. Heritage assessments of historic properties are based on Provincial criteria O.Reg. 9/06 of the OHA. These are as follows:

1. The property has design value or physical value because it;
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it;
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community

- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

O. Reg. 9/06, s. 1 (2). (note, this application predates Ontario Bill 23 when these criteria were regrouped and altered)

The following comments consider these criteria while discussing the attributes of the property at 147 Spadina Ave.

3.2.1 Design or Physical Value

From a Design or Physical Value perspective, the building at 147 Spadina Ave. is not a rare or unique example of the Art Moderne Style or type, nor is it a building with a high degree of craftsmanship or artistic merit.

The form of the building and its material pallet is consistent with the brick commercial, warehouse and light industrial buildings of the King Spadina District. At 2 storeys in building height it is at the low end of the typically 6-12 storey range of these buildings but is similar in height to a few buildings on this specific block along the Spadina frontage.

The building is a relatively simple brick construction with large windows divided by expressed brick pilasters with tapered stone caps. A two storey glass entrance is located in the 3rd bay north between pilasters. The building was originally a 9 Bay structure with 4 regular bays to either side of a central decorative entrance bay. When Richmond street was realigned to form a functional intersection with Richmond Street west of Spadina, two bays were removed from the south end of the building and a new south wall constructed. This is evidenced by the surveys from 1939 and 1980 and a historic photo that illustrates the original south end of the building.

In the 1980s the entrance bay was significantly altered from the original as seen in the photo from the 1970s before renovations. The original decorative entrance surround, the primary decorative feature of the building which established its

architectural style, was designed as an Art Moderne flourish in stone with stylized flat columns and a raised flat entablature. This entire stone surround was removed in 1980s renovations and has been replaced with simple brick frame stepping back to a larger glass curtain wall entrance and overarched by a flat brick entablature with a stepped parapet dramatically altering the stylistic appearance of the building.

The upper windows have all been replaced with modern aluminum frames in an offset divided pattern not consistent with the original plaid grid. The lower storefronts have also been replaced in a similar offset layout to the upper windows.

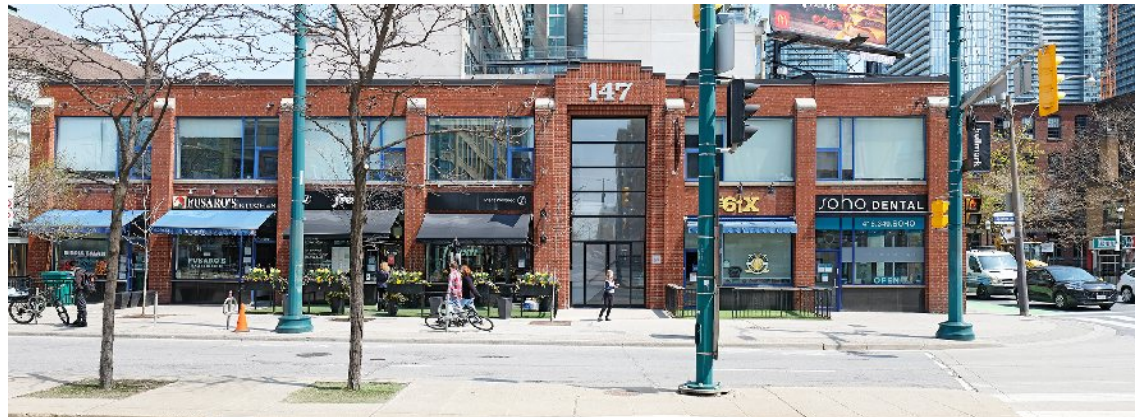
The interior of the building has no significant heritage features having been recently renovated to a modern aesthetic.

This building does not exhibit a high degree of technical achievement being of a construction technology common the the period of its construction.

In this classification of value it is my opinion this building, in its current diminished state, is not Significant.



25. 147 Spadina west elevation c1970 before 1980s renovations but after the loss of 2 south bays. Toronto Archives



26. 147 Spadina west elevation today. PGA

3.2.2 Historical or Associative Value

From a Historical or Associative Value perspective we need to consider whether the building is associated with significant designers, occupants or events in the history of Toronto.

We were not able to determine who the designer of the building was. As such we believe it has no association with a person of significance in Toronto's design or development history.

In terms of the occupancy, it is interesting to note the original occupants were all associated with the concentration of fashion business in the District. They were several Jewish garment industry businesses that were based in Montreal. In 1937, the businesses included:

- 1 – Seagall & Stark Ladies Wear,
- 2 – Laboff Bros Inc. (Montreal),
- 3 – Stein Bros. Inc. Ready to Wear,
- 4 – Sternthal Dress Co. Montreal,
- 5 – Stella Dress Co.,
- 6 - International Dress,
- 7 - Bernard (Bernad) Dress Inc. Montreal,
- 8 – Ideal Dress Co. Montreal.

By 1938, Lucerne Dress Inc. and Lady Lee Frocks who were located in Phillips Place in Montreal had taken occupancy of 147 Spadina Avenue.

The story of the rise of this area as Toronto's most significant historic warehouse district after the great fire of 1904 and the First World War displacing the pre-existing houses is an integral part of Toronto's history and still a character defining attribute of the area. I will discuss this more in the next section, however constructed in the 1930s this building is late in the reconstruction of King Spadina as a warehouse - light industrial zone and in scale and design only weakly associated with the more typical built form of the area.

From a historical use perspective, this building housed retail business in the fashion sector, largely as retail stores and as outlets, for the most part, for Montreal based businesses. Given the concentration of fashion related manufacturing and retail in the King Spadina area this is not surprising, but it is my opinion that this association was not significant in supporting or establishing this character but instead responded to an established character pre-existing in King-Spadina by the late 1930s.

In this classification of value it is my opinion this building is not Significant.

3.2.3 Contextual value

From a Contextual Value perspective it is my opinion that this building is consistent in its use of brick and punched window bays, but in its altered and diminished state is not significant in defining, maintaining or supporting the character of the area.

The area surrounding the building and on this block retains many historic buildings. Although this area is undergoing a transition, most of the surviving buildings are being incorporated into the intensifying developments. This adaptive reuse effort has both retained the historic character of the area and netted a vibrant modern life in its new guise.

Spadina south of Richmond St. retains most of the heritage buildings from the early 20th century as does this block north from Richmond to Queen. This is a large consistent section of the historic Spadina street wall on the east side of Spadina.

On the West side of Spadina the scale of the buildings is larger and many have survived. An exception is the north-west corner of Spadina and Richmond which was redeveloped as a mixed use commercial residential 14 storey condominium project, The Morgan.

East of the building on Richmond Street there is also a newer mixed use commercial residential twin tower 14 storey condominium project on the site of the former Consolidated Optical building, although other warehouse buildings, such as



27. 147 Spadina Ave looking south from Queen St. PGA



28. 147 Spadina Ave looking north from south of Adelaide St. PGA

the celebrated 401 Richmond, survive and are an early example of a commercial adaptive reuse project in the area.

To the west on Richmond Street beyond Spadina, the historic context changes and there are few of the traditional King Spadina warehouse style buildings. To the extent that Richmond St. West of Spadina was not identified for inclusion in the King Spadina HCD Study. Several new projects have been approved and some constructed in this area whose built form responds to the King Spadina HCD Plan Guidelines.

The primary contribution of 147 to the local context is its material pallet, as altered, vaguely historic if somewhat generic appearance and its similar scale with its neighbour at 161 Spadina. At 2 stories and with a modest floor plate, not served by a lane, with a diminished appearance as noted above it is not consistent with the context of more typical King Spadina warehouses buildings in the 6-12 storey range to the south which establish, as noted in the KS HCD Plan the character of the Spadina Avenue Character Sub- Area in which it is located.

Given the date of construction, late in the redevelopment of King Spadina generally, the small 2 storey scale and the significantly altered appearance of the building, it is my opinion that this building is only weakly linked to the character of its surroundings, primarily through its traditional use of brick masonry and multi-bay punched window layout.

Finally, It is my option for the reasons above, that this building is not a Landmark.

In this classification of value it is my opinion this building does not achieve Significance.



29. 147 Spadina Ave looking west from west of Peter St. PGA



30. 147 Spadina Ave looking east from east of Brant St. PGA



31. Looking east from Spadina and Richmond with 141 Spadina, District Lofts and 401 Richmond St W. Note the blank party walls at the west end of district Lofts anticipating future development. PGA



32. Looking south east from Spadina and Richmond, with the Spadina building and the Balfour Building. PGA



33. Looking south west from Spadina and Richmond, with the Fashion Building, 116 Spadina and the Tower Building. PGA

3.2.4 Network of Lanes

The narrow service access space to the east rear of the building is noted as being part of the King Spadina network of lanes. I would like to consider if this was identified in error. The service space behind 147 Spadina does not connect to Lot Lane as illustrated in the King Spadina HCD Plan.

The narrow area behind the existing building is a small gap between the District Loft property directly to the east and 147 Spadina. It allows some indirect light into windows on the east side of the building at the second floor and permits access to the entrance to the part basement of 147 central to the building where the boiler / heating system is located.

This space is not connected to Lot Lane, as is suggested in the HCD Plan. This lane starting at Spadina Ave, is located to the north of 161 Spadina and extends south around the rear of and connects to Richmond St to the east of District Lofts. This space at 147 Spadina wraps around the existing building only as a narrow light well. The properties of 161 Spadina and District Lofts connect at a corner separating the property of 147 Spadina including this space from Lot Lane.

The space is dark and narrow at c 4ft (c1200mm) wide. It is too narrow for any vehicular access and is too narrow to be a useful pedestrian path, and it does not connect to the King Spadina “Network of Lanes” and so would have no useful pedestrian function.



34. View into the narrow service area east side, rear, of 147 Spadina. Note this space does not connect to Lot Lane, it terminates at 161 Spadina ave.



35. Looking west in Lot Lane north of District Lofts. The lane turns sharply right and then left around the north side of 161 Spadina and does not connect with the service area behind 147 Spadina



36. Looking south west behind 161 Spadina, the former St. Margaret's Church. The corner of 161 Spadina and District Lofts touches, there is no access to the service area of 147 Spadina and the small open space of 161 is closed off with an iron fence.

3.2.5 Conclusions

I have considered the simple statement in the KS HCD Plan that this building contributes to the HCD in Design, Association and Context, however, it is my opinion that this is overrated and that any possible contribution identified in the HCD Plan is no more significant than other buildings nearby with similar characters that are not identified as contributing. In addition, It is my opinion that using the criteria of O.Reg 9/06, that this property (building) is not worthy of Designation or Listing as a Significant Heritage Property, nor should it have been listed as a contributing building in the KS HCD Plan

4.0 Heritage Policies

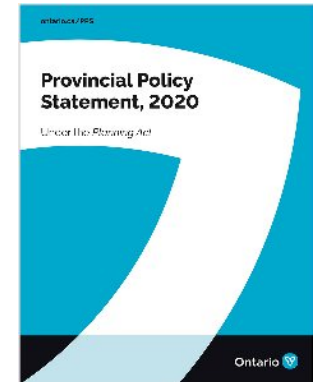
4.1 Provincial Policy Statement 2020

The Provincial Policy Statement in section 2.6 states

“Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”
and

“Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.”

The City’s Heritage Registry identifies the development site as being Listed on the Heritage Register as of December 15, 2016, and as contributing properties within the KS HCD. Council’s approval of the KS HCD is under appeal and the HCD Designation is therefore not in current force and effect.



With respect to adjacent heritage properties as defined in the PPS 2020 and City of Toronto OP, there are no designated or listed heritage buildings contiguously-adjacent, however, there are identified Heritage Properties near-adjacent to the site. These include;

- Diagonally opposite SW, 130 Spadina Ave, The Fashion Building
- Diagonally opposite SE, 401 Richmond St
- South 1 property removed, 129 Spadina, The Spadina Building
- North 1 property removed, Queen Street W HCD
- North 1 property removed, 441 Queen St. W (163 Spadina), Oddfellow’s Hall

Also as noted above, my assessment of this property, 147 Spadina, concludes it is not Significant. There is no reason for inclusion this property on Toronto’s Heritage Register. I also disagree with its inclusion as Contributing in the HCD Plan for the reasons given above.

4.2 City of Toronto Heritage Policies

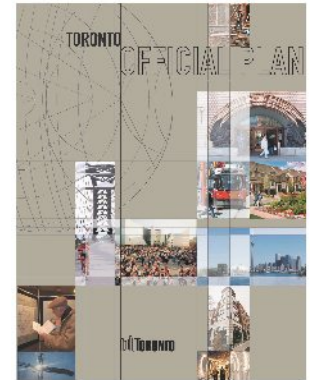
The following are applicable extracts from Bylaw 486-2013, which enacted OPA 199 and establishes the General Heritage Policies (policy numbers are noted):

4.2.1 General Heritage Policies

4. Properties on the Heritage Register will be conserved and maintained consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada, as revised from time to time and as adopted by Council.
5. Proposed alterations, development and/or public works on or adjacent to a property on the Heritage Register will ensure that the integrity of the heritage property's cultural heritage value and attributes will be conserved, prior to work commencing on the property and to the satisfaction of the City. Where a Heritage Impact Assessment is required in Schedule 3 of the Official Plan, it will describe and assess the potential impacts and mitigation strategies for the proposed alteration, development or public work.
6. The adaptive re-use of properties on the Heritage Register is encouraged for new uses permitted in the applicable Official Plan land use designation, consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada.
7. Prior to undertaking an approved alteration to a property on the Heritage Register, the property will be recorded and documented by the owner, to the satisfaction of the City.

4.2.2. Incentives

21. Additional gross floor area may be permitted in excess of what is permitted in the Zoning By-law for lands designated Mixed Use Areas, Regeneration Areas, Employment Areas, Institutional Areas or Apartment Neighbourhoods for a heritage building or structure on a designated heritage property that is part of a new development, provided that:
 - a) The application includes the conservation of a heritage building or structure on a property designated under the Ontario Heritage Act;
 - b) Additional gross floor area specifically provided through this policy will not exceed that of the heritage building or structure being retained;
 - c) The additional floor area will not detract from the heritage property and will not conflict with any other Official Plan policies;



- d) Excellence in the conservation of the values, attributes, character and three-dimensional integrity of the heritage property is achieved and additional density will not be granted for the incorporation of façades or isolated building elements into new development;
- e) Where the property is within a Heritage Conservation District, the proposed development conforms to the Heritage Conservation District plan and/or any guidelines for that district; and
- f) The conserved heritage building or structure is protected in a Heritage Easement Agreement and the agreement and necessary by-laws are enacted prior to approval of the site plan for the entire development.

4.2.3. Development on Properties on the Heritage Register

- 26. New construction on, or adjacent to, a property on the Heritage Register will be designed to protect the cultural heritage values, attributes and character of that property and to mitigate visual and physical impact on it, including considerations such as scale, massing, materials, height, building orientation and location relative to the heritage property.
- 27. Where it is supported by the cultural heritage values and attributes of a property on the register, the conservation of whole or substantial portions of buildings, structures and landscapes on those properties is desirable and encouraged. The retention of façades alone is discouraged.
- 28. The owner of a designated heritage property will be encouraged to enter into a Heritage Easement Agreement where the City considers additional protection beyond designation desirable due to the location, proposed alteration and/or the nature of that property.

4.2.4. Heritage Conservation Districts

- 32. Impacts of site alterations, developments, municipal improvements and/or public works within or adjacent to Heritage Conservation Districts will be assessed to ensure that the integrity of the districts' heritage values, attributes and character are conserved. This assessment will be achieved through a Heritage Impact Assessment, consistent with Schedule 3 of the Official Plan, to the satisfaction of the City.
- 33. Heritage Conservation Districts should be managed and conserved by approving only those alterations, additions, new development, demolitions, removals and public works in accordance with respective Heritage Conservation District plans.

4.2.5. Archaeological Resources

34. The Archaeological Management Plan will be implemented and maintained to manage archaeological resources and areas of archaeological potential.

35. Development and site alteration will be permitted on lands containing archaeological resources or areas of archaeological potential only where the archaeological resources have been assessed, documented and conserved. Any alterations to known archaeological sites shall only be performed by licensed archaeologists.

38. Upon receiving information that lands proposed for development may include archaeological resources or constitute an area of archaeological potential, the owner of such land will undertake studies by a licensed archaeologist to:

- a) Assess the property in compliance with Provincial Standards and Guidelines for Consulting Archaeologists, and to the satisfaction of the City;
- b) Assess the impact of the proposed development on any archaeological resources;
- c) Identify methods to mitigate any negative impact that the proposed development may have on any archaeological resources, including methods of protection on-site or interpretation and curating; and
- d) Provide to the City a Provincial concurrence letter recognizing the completion of the Archaeological assessment where one is issued by the Province.

4.3 King Spadina Heritage Conservation District Plan (the plan is under appeal and not in effect)

4.3.1 The purpose of the Plan is to:

“to establish a framework that will conserve the District's cultural heritage value through the protection, conservation and management of its heritage attributes. This document and the policies and guidelines herein will guide the review of development applications and permits within the District and will inform the decisions of city staff and Council.”

4.3.2 The Plan encourages Design Excellence:

“The conservation of contributing properties and re- development of non-contributing properties should reflect design excellence and innovation through the use of best practices in heritage conservation, high-quality materials and a sensitive and thoughtful response to the impacts the proposed development will have on the District. In addition to the review of all development applications by the Toronto Preservation Board, proposed changes may be subject to the City of Toronto Design Review Panel process, an independent review that can help ensure a design contributes to the surrounding context and public realm while achieving design excellent in the present. “

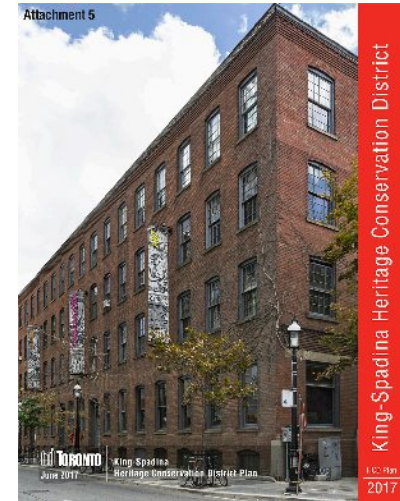
4.3.3 Standards and Guidelines. The City of Toronto has adopted the Standards and Guidelines for the Conservation of Historic Places in Canada:

“The Standards and Guidelines were adopted by Toronto City Council in 2008 as the official framework for the planning, stewardship and conservation of heritage resources within the City of Toronto.”

4.3.5 Urban Design Guidelines apply to the site. The KS HCD Plan notes:

Guidelines seek to ensure that new development is compatible with adjacent heritage buildings through appropriate massing, height, setbacks and step backs and should relate to key elements such as cornices, rooflines, and setbacks from the property line. New development should reinforce the character and scale of the existing street wall, the base of the building should respond proportionally to the width of the street, and development should reference the articulation of the historic building facades.

4.3.6 The Plan defines areas of special identity, this site is within the Spadina Avenue area of special identity.



4.3.7 KSHCD Plan Objectives

1. Conserve, maintain, and enhance the cultural heritage value of the District as expressed through its heritage attributes, contributing properties, building typologies, character sub-areas, public realm and archaeological resources.
2. Conserve the legibility of the District's period of significance, particularly the early phase of residential development, and the later commercial phase of development.
3. Conserve the historic form and scale of the District's building typologies.
4. Conserve and enhance contributing properties, Part IV designated properties, listed properties and National Historic Sites.
9. Ensure complementary alterations to contributing properties and prevent the removal of heritage attributes from contributing properties within the District.
10. Ensure that new development and additions conserve and enhance the cultural heritage value of the District in general, as well as the character sub-area in which it is located, particularly with respect to historic scale, public realm and the general pattern of the built form.
11. Ensure that archaeological resources are conserved.
12. Encourage high quality architecture that is of its time and ensure that new development and additions are complementary to the District's cultural heritage value.
13. Conserve and enhance the District's network of laneways, both public and private, to support an understanding of their historic and contemporary uses.
14. Conserve and enhance identified views that contribute to an understanding of the District's cultural heritage value.
16. Conserve and enhance the social, cultural and community values of the District as a mixed-use area through the adaptive reuse of contributing properties to facilitate a range of uses, including commercial, cultural and community-based activities.

8. Attributes of the Commercial Building Typology are described as:

- The use of the Commercial, Conservative Renaissance Revival, Renaissance Revival, Edwardian Classical, Art Moderne, Period Revival and Mid-Century Modern architectural styles, and their associated stylistic features
- Square and rectangular plans, with varying widths and depths
- A range of heights from 2 – 12 storeys

- Symmetrical, orderly composition
- Primary elevations that generally meet the front lot line, with visible side elevations that are setback from side lot lines and which may include fenestration
- A general tripartite design, with defined base, middle and top
- Vertical articulation, expressed through bays, window alignments, piers, and projections
- Flat roofs with structural and architectural features
- Entrances raised a quarter to a half-storey above street level
- Regular rhythm of windows on all elevations visible from the public realm
- Windows that are designed on visible elevations to express the functional purpose of each floor, and which may be embellished in shape, style or design
- The solid-to-void ratio of window to wall
- Early or original window and door features, including hardware, material, glazing, and the division of units
- Painted signage on side elevations, often directly on the masonry walls

9. Attributes of the Public Realm include:

The network of laneways, which reflect the historic secondary circulation and service access routes and provide access to daylight between buildings and to the public realm.

10. This development site is defined as a Commercial Detached property and the gap between 147 Spadina and 388 Richmond St W, District Lofts, is identified as a lane in the “Network of Lanes” section. It is my opinion that this space does not constitute a “lane”, the space is disconnected from the KS “network of lanes” and that the KS Network of Lane Policies should not apply here.

11. This development site is in a Character Sub-Area, The Spadina Ave Character Sub-Area.

12. 147 Spadina is identified as a site with no Archaeological potential. An archaeological assessment of the site will not be required.

13. Policies for Contributing Properties

This property is listing in the HCD Plan as “Contributing”. As per my assessment of the property heritage values and local comparables above, it is my opinion that this property should not be considered as a contributing property and that any redevelopment of the site should follow the general guidelines for new development in the KS HCD and as identified for the Spadina Avenue Character Sub Area.

The following is a summary of policies and guidelines that apply to Contributing properties within the KS HCD Plan area.

6.1.1 Alterations to a contributing property must be based on a firm understanding of the contributing property and how it contributes to the District's cultural heritage value and heritage attributes

6.1.4 A Heritage Impact Assessment shall be submitted to the City and shall evaluate the impact of any proposed alteration or addition on the contributing property to the satisfaction of the Chief Planner and Executive Director, City Planning

6.2.1 Contributing properties shall be conserved in a manner that ensures the long- term conservation of the District's cultural heritage value, heritage attributes, and the integrity of the contributing property

6.3.1 In addition to the other requirements of this Plan, properties designated under Part IV of the Ontario Heritage Act shall be conserved in accordance with their respective Part IV designating by-laws

14. Restoration

6.9.1 The restoration of a contributing property shall be based on thorough supporting historic documentation of the property's built form, materials and details from the period to which it is being restored to

6.9.2 When undertaking a restoration project on a contributing property, building features from the period to which a building is being restored that have been removed or damaged should be re-instated

6.9.3 The creation of a false historical evolution of the contributing property through the addition or incorporation of components from other places, properties and periods shall not be permitted

15. Alterations

6.4.1 Alterations to combined properties shall conserve the portion(s) of the property identified as contributing to the District according to Section 6 of this Plan

6.10.1 The alteration of contributing properties shall be complementary and subordinate to the District's cultural heritage value and heritage attributes

6.10.2 New materials shall be physically and visually complementary to the materials of the contributing property

6.10.3 Alterations to contributing properties shall include the preservation of the District's heritage attributes

6.10.4 The alteration of contributing properties shall not diminish or detract from the integrity of the District or the contributing property

15. Massing

6.11.1 Additions to contributing properties shall conserve the primary structure's three-dimensional integrity as seen from the public realm

6.11.2 Additions to contributing properties shall be designed in a manner which is of their time, complementary to and distinguishable from the contributing property

6.11.3 Additions to contributing properties shall not be permitted on any street-facing elevation

6.11.4 Additions to the side elevations of contributing properties shall maintain the visibility of fenestrated side elevations from the public realm

6.11.7 Cantilevered portions of additions to contributing properties shall not be permitted above any required step back or setback

6.11.8 Additions shall be designed to maintain the primary horizontal and vertical articulation of the primary structure on a contributing property

16. Commercial Detached Building Typology.

This property is identified as commercial detached Building and so the following additional policy applies;

6.11.9 Additions to contributing Commercial Detached properties shall only be permitted when the proposed addition conserves the whole building

6.11.10 Additions to contributing Commercial Detached properties shall step back from all elevations of the primary structure, notwithstanding elevations that are blank

– Step back distances will be determined based upon the design, scale and massing of the proposed addition, the contributing property, and other applicable policies

Note, the HCD Plan does not specify Height Limit.

17. Roofs

6.12.1 Conserve the original or restored roof form and profile of contributing properties

6.12.2 Conserve the original or restored structural and architectural roof components of contributing properties

18. Windows and Doors

6.13.1 Conserve the form, placement, rhythm and style of original or restored windows and doors of contributing properties

6.13.2 Conserve structural and architectural features of original or restored windows and doors of contributing properties

6.13.3 Do not introduce new window or door openings on contributing properties on street-facing elevations or elevations visible from the public realm

19. Exterior Walls

6.14.1 Conserve the original or restored exterior wall form, detail and materiality of contributing properties

- a. Minor alterations may be permitted where determined to be appropriate, including the installation of features to increase building performance and life cycle
- b. The design, massing and placement of alterations should conserve the original or restored exterior wall form and style as viewed from the public realm
- c. If it is not technically possible to locate alterations out of view of the public realm, ensure that they do not negatively impact the District's cultural heritage value, heritage attributes, and the integrity of the contributing property

6.14.2 Conserve original or restored exterior wall features and details of contributing properties

6.14.3 Additions to contributing properties shall use exterior wall materials that are physically and visually complementary to the District's heritage attributes, and that do not negatively impact the integrity of the contributing property

20. Entrances Porches and Balconies

6.15.1 Conserve the form, placement and style of original or restored entrances, porches and balconies of contributing properties

6.15.2 Conserve the features and details of original or restored entrances, porches and balconies of contributing properties

- a. Conserve the material, stairs, ramps, railings, canopies, roofs, gables, columns, piers, metal work and woodwork, assemblies and craftsmanship of original or restored entrances, porches and balconies
- b. Damaged or deteriorated original or restored entrance, porch and balcony features should be repaired rather than replaced
- c. Replace only those original or restored entrance, porch and balcony features that have deteriorated beyond repair

21. Lighting and Signage

To be considered in a later Lighting Plan for this project.

22. Network of Lanes,

The gap between 147 Spadina and 388 Richmond W is identified as part of the "Network of Lanes" . The KS HCD specifies the following policies for lanes, which in my opinion as noted above should not apply:

9.3.1 The network of laneways shall be conserved, extended and enhanced

- a. A variety of uses and functions should be facilitated, including but not limited to pedestrian and bicycle use, service access, active uses at grade, and creative and cultural activities
- b. Business servicing and delivery hours should be coordinated to support the use of laneways as public circulation routes
- c. Interpretation of the network of laneways, including their historic use and evolution over time, is encouraged

9.3.3 Laneways that are privately owned are strongly encouraged to be conserved, maintaining their location, alignment, connection to adjacent laneways, and views from the public realm

- a. Do not obstruct views of laneways with installations, including impermeable fencing, walls, infrastructure, or signage
- b. The current functions of laneways should be respected and integrated with any proposed improvements and/or new development
- c. Enhance laneways with pavement treatments and appropriate lighting

23. Policies and Guidelines for Non-Contributing Properties.

As noted above it is my opinion that this property should be considered as a Non-Contributing Property. In this case the following Policies and Guidelines would apply. In addition this property is within the Spadina Ave Character Sub-Area and so additional specific places would apply as set out below in part 24.

7.1.1 New development on non-contributing properties shall be complementary to the District's cultural heritage value and heritage attributes while reflecting its own time

- a. Avoid creating a false historic appearance. Design new development to be complementary to but not replicate the architectural style of adjacent contributing properties

(Def. Adjacent: Lands adjoining a property on the Heritage Register or lands that are directly across from and near to a property on the Heritage Register and separated by land used as a private or public road, highway, street, lane, trail, right-of-way, walkway, green space, park and/or easement, or an intersection of any of these; whose location has the potential to have an impact on a property on the Heritage Register.)

7.2.1 Alterations to a non-contributing property or properties adjacent to the District shall conserve the District's cultural heritage value and heritage attributes

7.4.1 The demolition of buildings or structures on non-contributing properties may be permitted, upon satisfaction of policy 7.4.2 of this Plan

7.4.2 The demolition permit for a building

or structure on a non-contributing property shall not be issued until plans for the new development have been submitted and approved by City Council, and a heritage permit for the demolition issued by the City. Such plans shall comply with the policies and guidelines of this Plan

- a. Substantial progress should be made in the construction of the replacement building(s) within two years of the demolition of the previous building
- b. If construction of the replacement building(s) is delayed due to unforeseen circumstances, the City of Toronto may require interim landscape treatment of the site
- c. Additional planning approvals may be required prior to the issuance of a demolition permit

7.5.1 New development and additions to non-contributing properties shall not be permitted except where the proposed work has been evaluated and it has been demonstrated that the cultural heritage value and heritage attributes of the District will be conserved

- a. The documentation, description and mitigation measures for any new development or addition to non-contributing properties will be described through a Heritage Impact Assessment satisfactory to the Chief Planner and Executive Director, City Planning

7.5.2 New development and additions to a non-contributing property shall be complementary to the District's cultural heritage value and heritage attributes.

7.5.3 New development and additions to non-contributing properties shall not negatively impact the District's cultural heritage value and heritage attributes, including any adjacent contributing properties.

7.6.1 New development on non-contributing properties shall be designed to be complementary to the design, scale, form and massing of adjacent contributing properties

7.6.2 New development on non-contributing properties shall be setback the same distance as the primary structure on adjacent contributing properties

- a. The setback of new development may transition from the setback of the primary structure of adjacent contributing properties a distance to be determined based on the scale, form and massing of the new development and adjacent contributing properties
- b. Conserve the view of adjacent contributing properties from the public realm when determining appropriate setback transitions
- c. If there are no adjacent contributing properties, setback distances will be determined by other applicable policies

7.6.3 New development on non-contributing properties shall be designed with a street wall not to exceed the height of the street wall established by the primary structure(s) on adjacent contributing properties

- a. Where there are no adjacent contributing properties, the street wall height for new development will be informed by other applicable policies

7.6.4 Additional height above the street wall on non-contributing properties shall step back from all elevations facing a street

- a. Step back distances will be determined based upon the design, scale and massing of the proposed new development and adjacent contributing properties
- b. Where there are no adjacent contributing properties, the step back for new development will be informed by other applicable policies

7.7.1 New development on non-contributing properties shall reference the horizontal articulation of adjacent contributing properties

- a. Align first floor heights with the first floor heights of adjacent contributing properties
- b. Align the horizontal articulation of the street wall with that of adjacent contributing properties, referring to cornice lines, datum lines, window heads, articulated floor levels and other horizontal architectural details

7.7.2 New development on non-contributing properties shall reference the vertical articulation of adjacent contributing properties

- a. Incorporate vertical articulation in the design of street walls that reflect the predominant building and bay widths of adjacent contributing properties

7.7.3 New development on non-contributing properties shall reference the proportions and solid-to-void ratios of adjacent contributing properties

- a. The dimension and organization of window and door openings on non-contributing properties should maintain the character and appearance of adjacent contributing properties

7.7.4 New development on non-contributing properties shall not include blank walls facing the public realm

7.8.1 The exterior walls of new development on non-contributing properties visible from the public realm shall be designed in a manner that anticipates their visibility and is complementary to the District's cultural heritage value and heritage attributes

- a. Continue the materiality of street-facing elevations on side and rear walls

- b. Include windows and other forms of articulation on side, rear and street-facing exterior walls
- c. Include secondary entrances on side, rear and street-facing exterior walls, especially where facing a laneway or street

7.8.3 Materials used in the design of the exterior walls of new development on non- contributing properties shall be complementary to adjacent contributing properties

7.9.1 The roof design of new development on non-contributing properties shall not detract from or obscure adjacent contributing properties, or negatively impact the District's cultural heritage value and heritage attributes

7.9.2 New rooftop elements on non- contributing properties, including but not limited to mechanical penthouses, vents, drainage components, sustainable technologies, satellite dishes, skylights, metal chimneys, flues and decks shall be located out of view from the public realm

- a. If it is not technically possible to locate the rooftop elements out of view from the public realm, ensure that they are appropriately screened. Use screening material and design the screen so as to be complementary to the District's heritage attributes

7.10.1 Exterior lighting of non-contributing properties shall not detract from the integrity of adjacent contributing properties, or negatively impact the District's cultural heritage value and heritage attributes

7.10.2 Exterior lighting on non-contributing properties shall conform to applicable City of Toronto lighting by-laws

7.11.1 New signage on non-contributing properties shall not detract from the integrity of adjacent contributing properties, or negatively impact the District's cultural heritage value and heritage attributes

- a. Design the location, scale, design and materials of new signage to be complementary to adjacent contributing properties

7.11.2 New signage on non-contributing properties shall comply with the City of Toronto's Sign By-Law

7.12.1 Vehicular access through the street wall of non-contributing properties shall not be permitted, unless it can be demonstrated that this access is essential to the function of the proposed development and alternative means of access are not possible

- a. When vehicular access through the street wall is deemed necessary, this access will be designed to minimize its visual impact on the streetscape

24. Spadina Avenue Character Sub-Area

This property is within the Spadina Avenue Character Sub-Area and so the following additional policies would apply to the redevelopment of the site;

8.3.1 The concentration of mid-rise contributing Commercial properties on both sides of Spadina Avenue is a significant heritage attribute of the character sub-area and the District, and shall be conserved

8.3.2 New development on non-contributing properties, additions to contributing properties and public realm improvements should be informed by and reference the history of Spadina Avenue as the centre of the 'Garment District' and the unique right-of-way characteristics of Spadina Avenue to reinforce the area's historic character as a designed boulevard

8.3.3 Additions to contributing properties shall step back 10 metres from all elevations facing Spadina Avenue

8.3.4 New development on non-contributing properties should conserve and enhance the historic scale of Spadina Avenue, particularly the massing and scale of contributing Commercial detached properties that are over 5 storeys

- a. Where there are no adjacent contributing Commercial properties that are over 5 storeys, new development on non-contributing properties may be permitted to have a street wall height greater than that of adjacent contributing properties, as determined by other applicable policies

8.3.5 New development on non-contributing properties should reference the materiality and articulation of contributing Commercial properties within the Spadina Avenue Character Sub-Area, generally defined by 1.5 storey ground floors, the use of stone masonry at the base with brick above, window bays separated by masonry piers, and articulated rooflines

- a. Refer to the material, texture and colour of contributing properties within the Spadina Avenue Character Sub-Area
- b. Design new development to include a defined base, shaft and roofline

5.0 Assessment of Existing Condition

It is proposed that the existing building at 147 Spadina be removed to allow for the construction of the project described below. This will mean that no repairs or restoration of the building will be undertaken, see Conservation Strategy in section 8.0 below.

In general terms the building is in a good, but altered from its original, condition. As noted above this building has had 2 south bays removed and a newer south wall reconstructed to match the original. It has had the original primary decorative stone front entrance surround removed and replaced by plain brick and all original windows and storefronts have been replaced by modern versions.

The brick of the building is in two parts, a plain red rug face brick on the two street elevations and a plain flat brick at the building side and rear walls which has been painted.

Brick walls and pilasters of the street west and south facades are in good condition with only very minor areas where some pointing is required, primarily at the side and rear walls and at or near grade as a result of de-icing slats and/or rising damp. Minor pointing is also required in a few separated locations at pilaster caps and parapet locations.

The masonry of the north side and east rear of the building are of a simpler plain brick both painted and with various levels of graffiti. Similar to the west and south sides some pointing is required near grade and in spots elsewhere. Primarily these walls are in rough condition from multiple changes for servicing (ducts and pipes), altered entrances, closed entrances and are dirty and stained from garbage and a shaded damp environment.

Windows and storefronts understood to have been installed in the 1980s on the west and south street facades are in good condition.

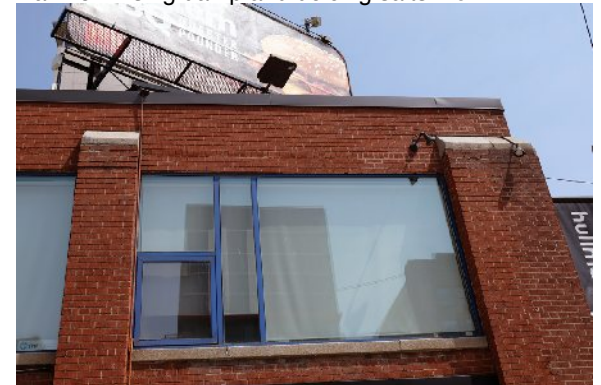
Windows within the setbacks both north side and east rear are a mixture of newer aluminium replacement windows and original steel multi-lighted frames and sash.



37. 147 Spadina from the SW. PGA



38. Detail of eroded joints near the base of the S. wall from rising damp and deicing salts. PGA



39. An area requiring pointing at the west parapet south end. The thicker pilaster at the corner is a result of south wall reconstruction PGA

Several former windows have been altered and partially removed to permit duct entrance/egress.

At the rear, east, wall concrete block infill has closed previous openings. These may have been windows or service doors or combinations as the closures are large and follow the bay rhythms of the building structure.

The building interior is of wood joist and beam construction, however as most of the interior has been renovated very little is open to view except in one office at the SE corner second floor. Where visible the structure appears in good condition.

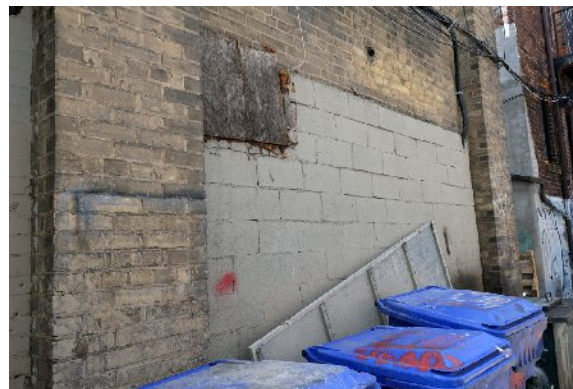
There is a partial, single bay, basement accessed off the service set back to the east, rear, of the building. There are indications that at some time in the past that termites infected the building. These have been treated and believe to have been eradicated. Fireproofing covers the wooden structure concealing the current condition of the wood columns and beams in this area.



40. Detail of eroded joints near the base of the n. wall. PGA



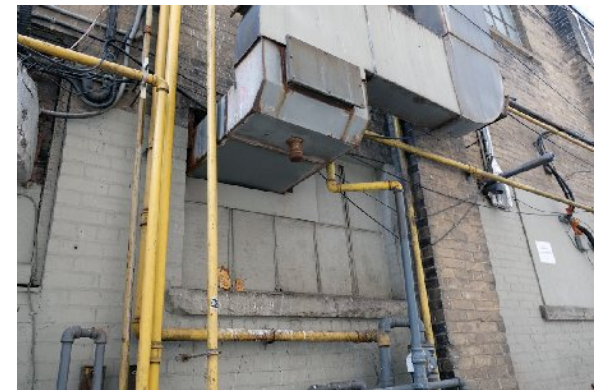
41. One of a couple of original rear windows that has survived on N side wall, in poor condition. PGA



42. Former opening (window?) in east rear wall now blocked up. PGA

43. Right, fragment of original E rear window where original window opening used for ducting. This condition exists at several former windows. PGA

44. Left, Open joints between reconstructed south wall and original east wall, SE corner. PGA



6.0 Description of the Proposed Development or Site Alteration

In this proposal the existing building is removed to make the entire site available for redevelopment, including the rear set back service gap described in the HCD Plan as a “lane”.

The concept of the new development is to design a building that draws inspiration from period warehouse buildings of the King Spadina area generally and responds to the larger warehouse building context of the Spadina Avenue Character Area.

The massing of the building evolves from a traditional base-shaft-top (capital) form, but additionally includes a middle step back that establish a cornice or stepped roof line that responds to and reinforces the street wall height of nearby buildings in the 12-15 storey range.

This traditional approach to design includes period styling cues, a stepped building form and symmetrical layout, regular bays, pilasters, decorative pilaster caps, punched window openings, and the use of brick masonry with precast stone elements on the principal elevations typical to buildings in the District. This is none the less a contemporary interpretation of a period style reminiscent of the 1910-1930 period.

The intent of this design approach is to respect the HCD Guidelines for new work in the Spadina Ave Character Sub-Area. These guidelines state;

8.3.2 New development on non-contributing properties, additions to contributing properties and public realm improvements should be informed by and reference the history of Spadina Avenue as the centre of the ‘Garment District’ and the unique right-of-way characteristics of Spadina Avenue to reinforce the area’s historic character as a designed boulevard

8.3.4 New development on non-contributing properties should conserve and enhance the historic scale of Spadina Avenue, particularly the massing and scale of contributing Commercial detached properties that are over 5 storeys

- a. Where there are no adjacent contributing Commercial properties that are over 5 storeys, new development on non-contributing properties may be permitted to have a



45. 3D View of proposed building from the SW.

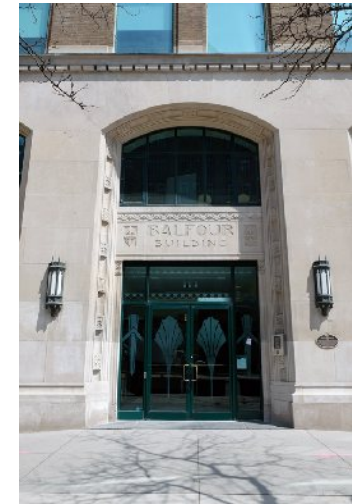


46. 3D View of proposed building looking north up Spadina Ave. Audax

street wall height greater than that of adjacent contributing properties, as determined by other applicable policies

8.3.5 New development on non-contributing properties should reference the materiality and articulation of contributing Commercial properties within the Spadina Avenue Character Sub-Area, generally defined by 1.5 storey ground floors, the use of stone masonry at the base with brick above, window bays separated by masonry piers, and articulated rooflines

- a. Refer to the material, texture and colour of contributing properties within the Spadina Avenue Character Sub-Area
- b. Design new development to include a defined base, shaft and roofline



47. Entrance detail at the Balfour Bldg. PGA



48. The Fashion Building, 130 Spadina. Google



49. The Tower Building, 106 Spadina. Google



50. The Balfour Building, 119 Spadina. PGA

Street Elevations

Base

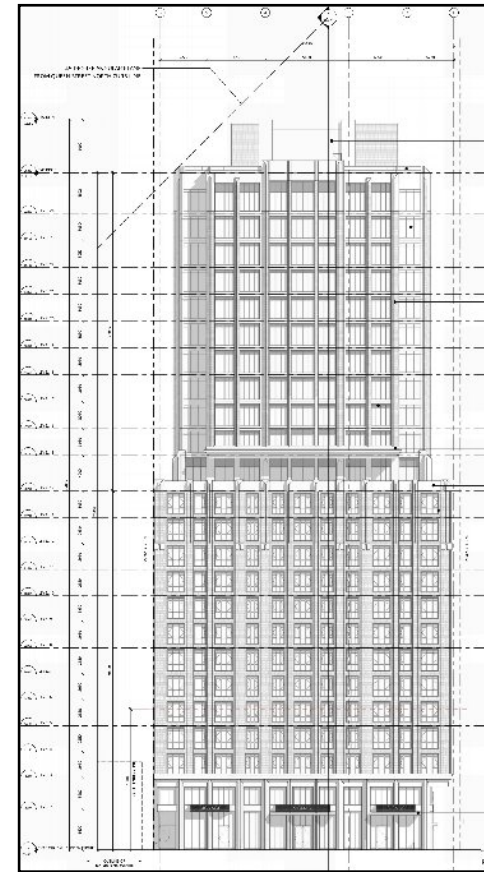
The base of the proposed building is a tall 2 storeys similar to the traditional 1-1/2 storey lower levels of historic buildings in the district which have elevated ground floors and exposed basement windows. It is important today that ground floors be set at grade to meet AODA requirements and further as ground floor retail is proposed. The existing building has an at grade ground floor similarly. The second floor is also within the base.

The base of the buildings establishes the bay rhythms of the upper building and is emphasized through the use of precast stone materials, a tall wall opening defining and surrounding storefront and second floor windows and with decorative features such as articulated pilaster columns and a suggested entablature-cornice at the third floor level. A secondary decorative metal feature creates a signage band within the stone framework between the ground and second floor levels. Similar to traditional buildings the stone pilaster columns sit on a darker stone base at the sidewalk level.

The base is articulated as a framed colonnade 2 stories high. Storefronts are located along Spadina avenue and return around the corner at Richmond. The south-west bay is set back to enlarge the sidewalk at this corner. The residential entrance is centred on the south, Richmond, facade and to the east of this is a double bay with door opening into the necessary service bay for the project.

Shaft

The shaft of the building is in two parts. From a massing perspective there is a step back between lower and upper building parts at the 13th roof-14 floor level which responds to a rough datum established by many buildings in the district but also specific to this location. This includes the roof lines of the historic Fashion Building, The Spadina Building and Balfour Building, to the south and across Spadina from this project and historic character defining buildings of the Spadina Avenue Character Sub-Area and newer The Morgan across Spadina from this site and the District Lofts to the East.



51. Proposed W Elevation on Spadina. Audax



52. Proposed building 2 storey stone "Base". Audax

The roof line at this level includes an expression of a cornice that tops off and provides an visual emphasis on the lower “base building” complimenting similar elements in the traditional warehouse buildings on Spadina noted above.

Lower Shaft

The lower shaft is designed with a rhythmic 5 principal bay structure on its Spadina elevation subdivided into smaller window bays in a symmetrical 3-1-3-1-3 pattern. There is a similar 5 bay rhythm on the Richmond elevation which adds interest and reinforces the symmetry of the elevations, a device found in many traditional buildings. Within these primary bays punched windows are paired, or tripled, and have a vertical “double hung” proportion.

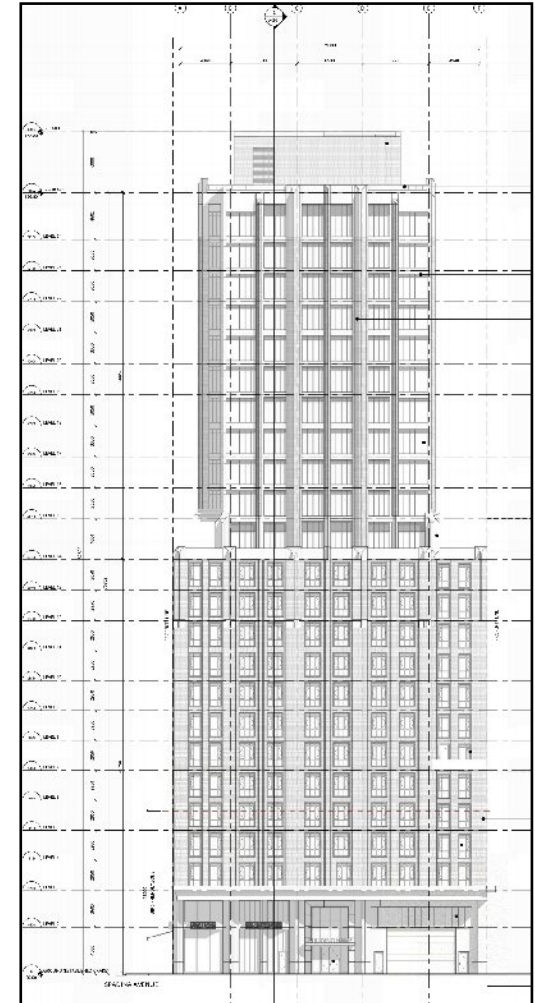
Above the base, the lower shaft is of a brick construction on the principal elevations. This terminates at the middle parapet cornice expression and is capped with pre-cast stone generally, with larger punctuations at pilaster caps. The stone at the lower shaft cornice continues the theme and decorative form at the stonework of the base. The tower references pick up on contextual elements in historic buildings in the Spadina Avenue Character sub-Area and create the effect of a cornice at this level reinforcing the traditional hight of the street wall in this area.

Lower Shaft Side Elevations

The property has two internal property lines which abut adjacent properties. To the north a 2-1/2 storey historic stand alone building (161 Spadina) which faces Spadina on the West, the Z shaped Lot Lane on the north side and east rear and a small internal setback on the south side.

On the east the 147 property abuts the recent 14 storey development at 388 Richmond St W. known as District Lofts. 388 Richmond has its primary elevation on Richmond Street with the north and east sides open to Lot Lane. The west side, adjacent to 147 Spadina is built to the property line and has blank walls in anticipation of a future development at 147 Spadina.

Unusually this building is designed in two east west ranges with a central open space / light well where building internal circulation to its residential is located. It is also worth noting that



53. South Elevation. The building shaft is in 2 parts, a lower shaft responding in height to District Lofts and similar to buildings such as the Balfour Building and a recessed upper shaft 48 diminishing and stepping back up to the roofline. Audax

in anticipation of future development at 147 Spadina, knock out panels were included in the basement west walls such that the lower parking levels of both sites could be connected. The side elevations, North and East, of the lower shaft of the 147 Spadina development is proposed to be on the property lines with a central and SE corner step back above the base on the east side to create a recess for residential unit windows and to respond to the form of District Lofts

On the east side these recesses respond to the internal light well / gap between the north and south ranges and these windows would look out into that light well and at the SE to a step back form of the south wall of District Lofts. Further, the height of the lower shaft is roughly in line with the height of District Lofts continuing the street wall expression along Richmond St.

On the north side most of the building shaft is above the adjacent 2-1/2 storey building. This results in most of this elevation, despite its internal block location, being visible from Spadina Ave north of this site and from the Queen St. in this area. With this in mind the “party” walls along the property line are proposed to include articulation and a material pallet that continues the design aesthetic of the street elevations. Above the lower shaft step back, the upper shaft continues with a window bay expression consistent with the street elevations

Upper Shaft

The upper shaft is stepped back from the lower shaft 3.0m from Spadina, 3.0m from the north, 3.15m from Richmond and 5.5m from the east to distinguish it from the lower shaft body. The reduced plan of the upper shaft has a central projecting bay with a rhythm of 2-3-2 on Spadina and corner single bay step backs of +/-5m. The Richmond elevation which is a continuation of the lines of the lower shaft body, similar to Spadina has a 2-3-2 central bay rhythm with corner 1 bay setbacks.

Roofline

At the top of the upper shaft body the form of the building has a parapet middle step up on all elevations emphasizing central line of symmetry reminiscent of traditional early 20th century buildings. The required roof top mechanical rooms also present a similar symmetrical appearance stepped back from the shaft walls.



back and alters form
the spirit of period
t. PGA

The upper shaft top is once again crowned with plain and decorative stone elements that continue the theme from the base and lower shaft making for a striking traditional appearance.

Plan

This is a corner site with two street facing elevations. In plan the building addresses Spadina Ave as its primary frontage consistent with HCD guidelines 8.3.2, responding to the history and design qualities of Spadina and the ground floor west is a commercial use with access of Spadina as per the existing condition.

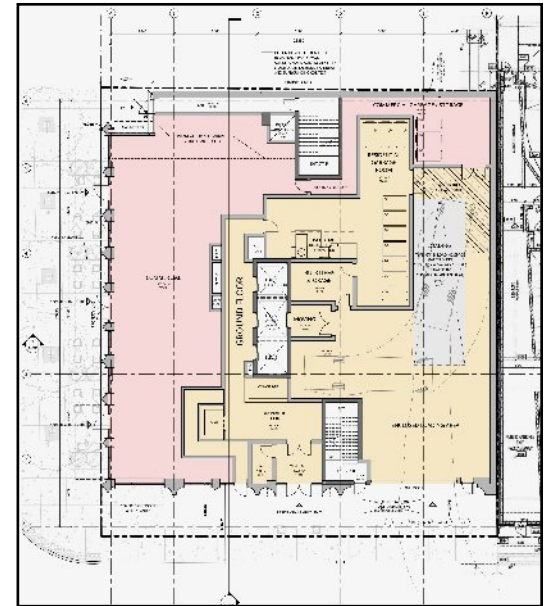
The detailing of the base wraps the corner and extends east on Richmond Street, however, the ground floor is cut back within the exterior form of the building to widen what is a tight sidewalk at Richmond and Spadina. At the east end of the ground floor a double bay provides access to the service area of the building. There is no alternate access to the site from the north or west, and this property has no frontage on Lot Lane.

The west ground floor is all retail space facing Spadina Ave. Within the central ground floor is the entrance and circulation to the building elevators. The residential lobby is located centrally on the south side with access off of Richmond St.

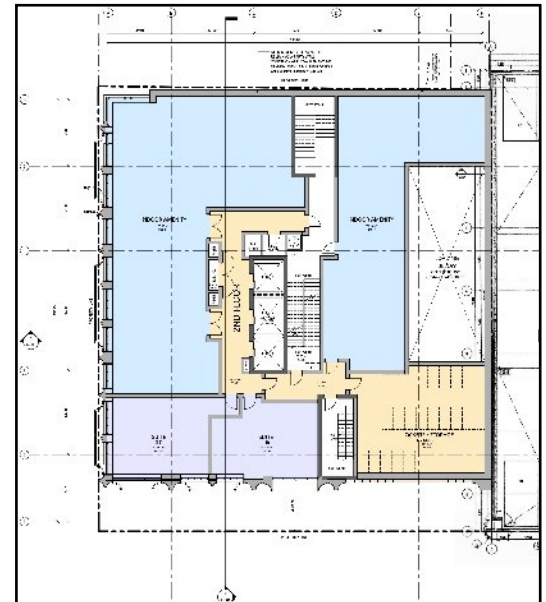
To the east of the residential lobby and within the building, is the delivery and service bay for the project connecting to service shafts and to the rear of the commercial units on Spadina Ave.

At the upper floors all levels are developed as apartment units. On the east sides of the lower shaft the building plan has a recessed in-step to provide for areas of windows serving the residential units as described above (Lower Shaft Elevations)

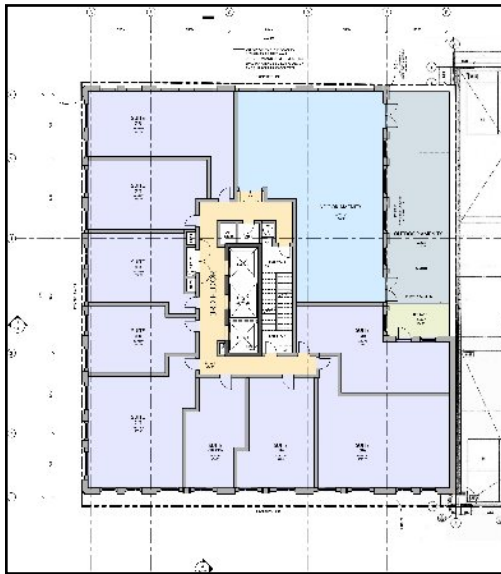
At the step back to the upper shaft at the 14th floor roof areas are created which will be used as exterior roof decks associated with adjacent units and interior amenity spaces.



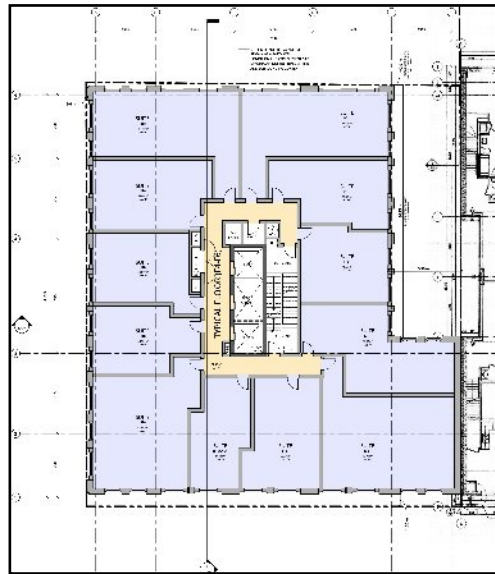
56. Ground floor plan. Audax



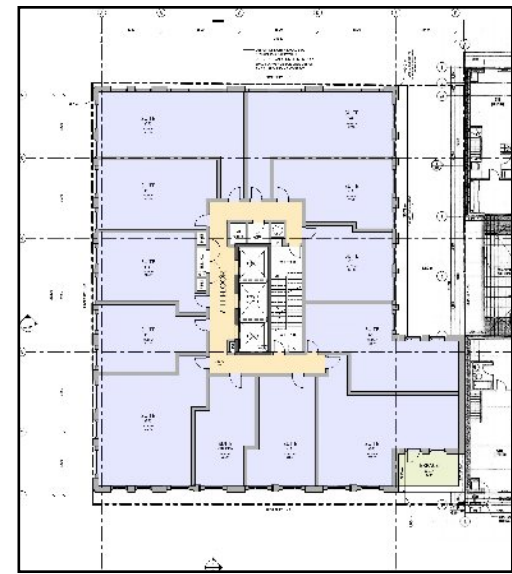
57. Proposed F2 plan. Audax



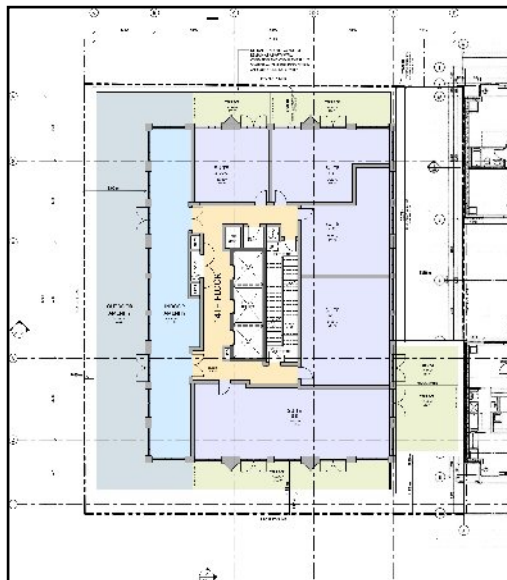
58. Proposed F3 plan. Audax



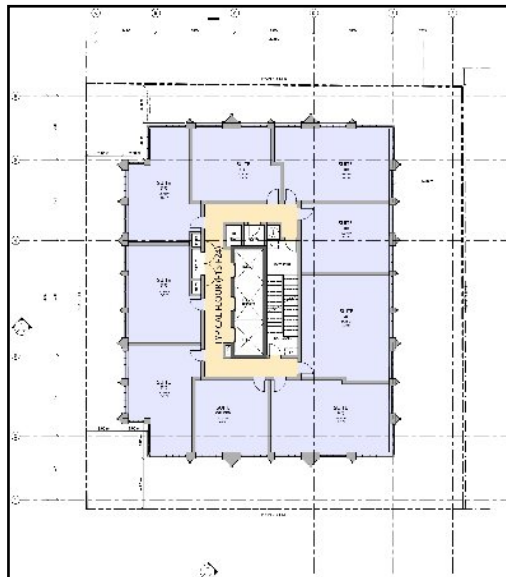
59. Proposed F4-6 plan. Audax



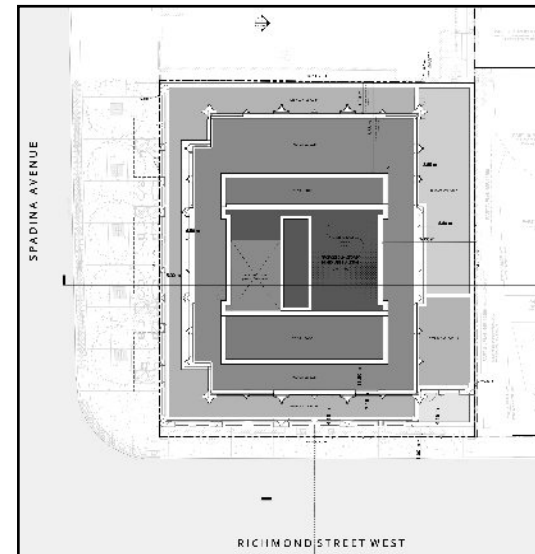
60. Proposed F7- plan F8-13 similar. Audax



61. Proposed F14 plan F15-23 Similar. Audax



62. Proposed F24 plan. Audax



63. Proposed Roof plan showing the step backs to reference the proposed traditional form of the building. Audax

7.0 Impact of Development or Site Alteration

This proposed development will have impacts on site and in the local area context as set out below

147 Spadina

The building at 147 Spadina has been identified as a contributing building in the King Spadina HCD Plan and therefore has also been Listed on the Register of Heritage Properties for the City of Toronto as a part of the King Spadina batch listing. As set out above in my assessment, I am of the opinion that this building does not warrant contributing or Listing status, however, the building is currently a recognized heritage building by the City of Toronto.

The impact on 147 Spadina is total, as the proposal includes the demolition and removal of all parts of this existing building to clear the site for this redevelopment. There are no specific features of the proposed design that incorporate physical parts of, design elements or commemorate the current 2 storey building directly.

Indirectly there is a continuity of traditional design through the use of a bay and window grid structure that is similar, a central Spadina Ave entrance in a symmetrical facade and a 2 storey height of the base. Further the ground floor of the development continues street retail on site along Spadina as is currently the case.

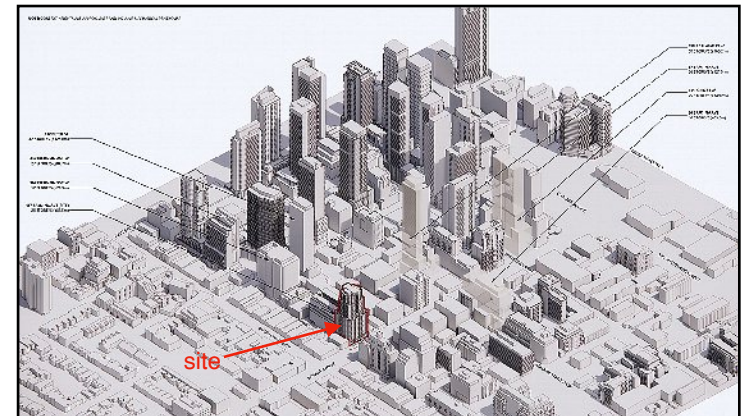
Context

There will also be an impact on the context of the immediate area of this proposed development.

The general character of the current context is that of traditional brick masonry low rise buildings framed by taller buildings to the west, east and south. It is a mixed area with street related retail, restaurants and showrooms, with upper floors generally adapted to office uses from traditional



64. Model view of proposed building looking SE, replacing the existing 2 storey 147 Spadina Ave. Audax



65. View of site looking SE, to the King Spadina HCD East District, a gateway to lower Spadina and the NW corner of the HCD East District. Audax

light industry or warehousing. However, the area has also been evolving in recent years and newer residential-above-retail projects have been added to this traditional mix on properties to the immediate east and west and further south in the Spadina Avenue Character Sub-Area which are shaping the context of this proposed development.

The current building on this site is 2 stories, to the north 161 and the Oddfellows building in the Queen St. West HCD are 2-1/2 and 3 stories respectively. To the immediate west across Spadina The Morgan, a recent residential-over-retail project rises 14 stories. To the southwest across the Spadina Richmond intersection is the historic 8 storey Fashion Building. To the south 141 Spadina is a 2 storey building with a historic 7 storey warehouse building, The Spadina Building, to the immediate south. To the east District Lofts another recent residential-over-retail project is 14 stories.

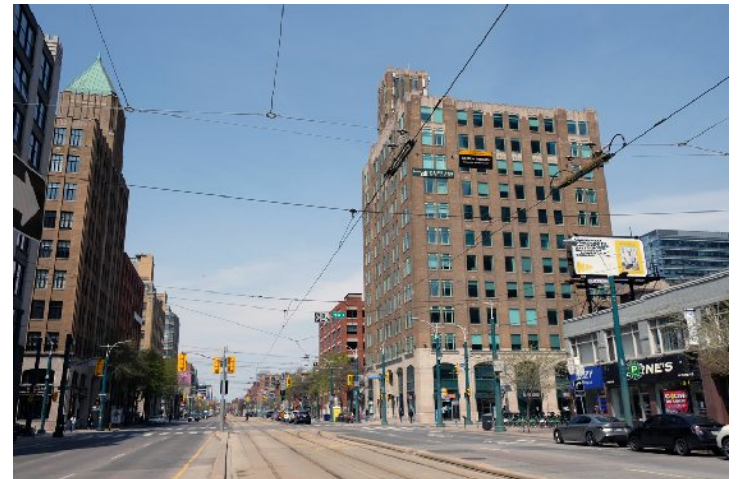
At 24 stories plus mechanical, the proposed building is taller than the immediate surrounding context. This will impact the scale of the street wall, add shadowing to areas in an arc to the north and diminish sky views at this location. It will also alter the skyline of the north boundary of the King Spadina HCD and the north end of the Spadina Avenue Character Sub-Area. I would characterize this as part of the ongoing progressive change to the context as opposed to a dramatic and inappropriate impact and at 24 stories this building height represents a stepping down of taller buildings to the SE in the east HCD District and lower buildings to the west of Spadina in the west HCD District.

Within the context of the area, the design of this building is intended to respond to the guidelines of the King Spadina HCD Plan generally and those of the Spadina Avenue Character Sub-Area as set out above, for a non-contributing property.

This site is not within an identified view in the King Spadina HCD Plan, and is at the very northern end of an identified view in the King Spadina Secondary



66. Perspective view of proposed building looking north on Spadina Ave. The project design, inspired by traditional buildings in the HCD, fits well into the Spadina Ave Character Sub Area. Audax



67. Similar view to above looking north on Spadina Ave. Audax

Plan between King Street and Richmond Street and therefore has no impact on an identified view.

As a transitional site between the Queen Street West HCD and the King Spadina HCD this development will have an impact on the existing relationship between the generally low Queen St W HCD and the higher East District of the King Spadina HCD and the Spadina Avenue Character Sub-Area by bringing a higher building presence to the northern limit of the HCD. Given the existing higher buildings to the south and the increasing number of tall buildings in the King Spadina HCD East district, this is a minor impact.

By utilizing a traditional design approach reflecting existing heritage warehouse buildings this development, together with the similar design approach and higher scale of The Morgan to the immediate west on the opposite side of Spadina Ave, this development will form a northern gateway to the King Spadina HCD generally and the Spadina Ave Character Area, which appropriately is in harmony with the design language of the heritage buildings on Spadina. This is a positive impact.



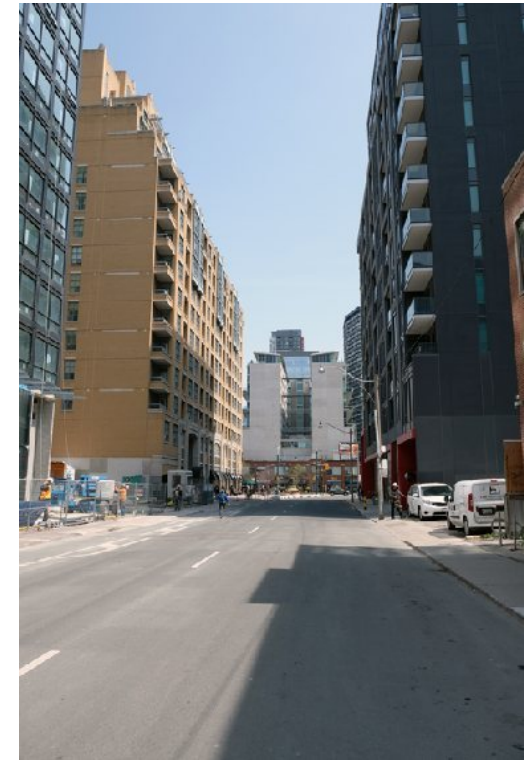
68. Perspective view of proposed building looking south on Spadina Ave from Queen St W. Sitting opposite and together with The Morgan creates a gateway between the Queen West HCD and the King Spadina HCD. Both projects have adopted an interpretation of a traditional form and style reflecting the buildings further south. Audax



69. Similar view to left looking south on Spadina Ave. PGA



70. Perspective view of proposed building looking East on Richmond Street. The traditional form and symmetrical design of 147 Spadina creates an interesting termination to the view east along Richmond St. West. In this view the response of the mid-shaft step back to the parapet levels of projects nearby such as The Morgan, to the left, is clearly evident and the heritage based design of the building is a great improvement over the blank end party walls of the District Lofts which currently terminate this view. Audax



71. Similar view to adjacent, looking east on Richmond St. W today. PGA

Shadowing

At 25-26 stories this building will cast additional shadows on the surrounding area in a northern arc from west to east as the sun passes during the day and of varying lengths with the season. From a heritage perspective this shadow will extend into and pass over buildings within the Queen St West HCD.

The guidelines for the Queen St W HCD include requirements that no new shadow is added to the north sidewalk of Queen St. during summer months between March and September and this requirement is reinforced with the establishment of an angular plane rising to the south at 45° from 13m above the south street boundary (Zoning bylaw affirmed by HCD). The HCD Plan states (Sec 5.4 Building Heights)

Attribute

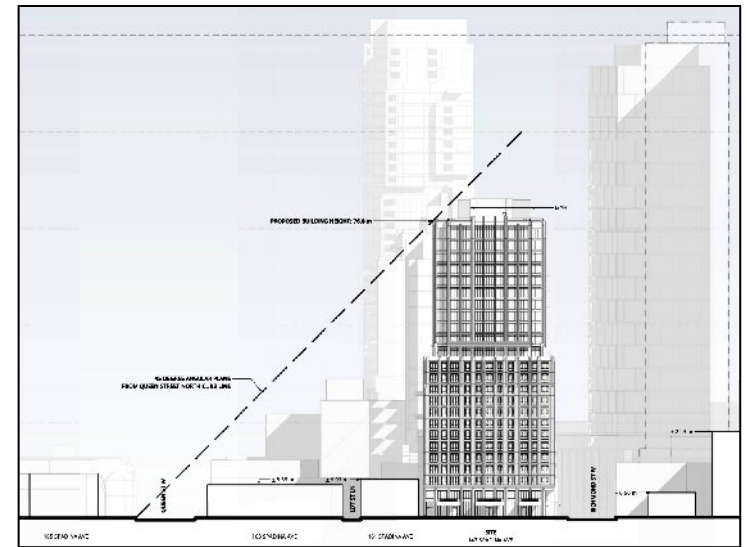
- *The north sidewalk of Queen Street West is afforded sunlight for much of the day and during most seasons, particularly in spring, summer and fall.*

Guideline

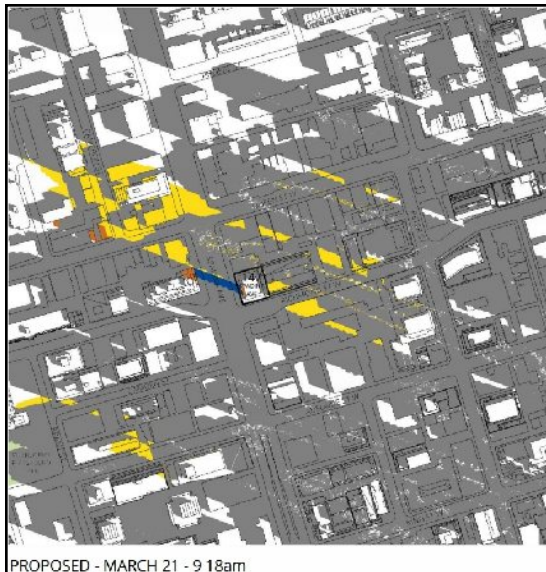
- *The existing Zoning By-Law (allowing a 16 metre height with a setback at 13 metres along a 45 degree angular plane) is affirmed.*
- *The shadow impact of new buildings outside the Heritage District should not result in greater shadowing on Queen Street West than what is permitted by this plan.*

A shadow study of this proposed development indicates that there is only minor new shadowing added to the north sidewalk of Queen St. W, in the vicinity and to the west of the intersection of Queen and Spadina, in the spring (March 21st) and fall (Sept 21st) between c. 9am and 11am. Shadows fall primarily on roof tops after that time.

This small degree of shadowing on the north side of the street in March and April does not exist in the summer months as seen in the June drawing.



72. Street elevation east side of Spadina, showing relationship to Queen St. W HCD. The stepping form of the roofline of 147 Spadina responds to a 45° line from the street curb north side of Queen St. at this location . Audax



73. Shadow study, selected times March 21st. Between 9am and 11:30am a shadow sweeps across the north sidewalk just to the west, the Queen and Spadina intersection and a small area of sidewalk to the east before diminishing over rooftops to the east in the afternoon. By 5pm the sun is low and shows are on rooftops to the east. September 21st is similar. Audax



74. Shadow study, selected times June 21st. At summer solstice there is no shadowing on Queen Street West. A shadow passes over Spadina south of Queen and onto rooftops thereafter until late afternoon. By 5pm shadows lengthen and pass over the roof of the designated building at 401 Richmond W. Shadowing of 401 Richmond already exists at that time of day from District lofts. Audax

For images of additional times see Section 10.0 Selected Shadow Drawings pg 83

8.0 Considered Alternatives and Mitigation Strategies

147 Spadina Ave

As noted above I have assessed the heritage value of the existing building at 147 Spadina based on Provincial criteria set out in O.Reg 09/06. It is my opinion that this building does not warrant Listing nor, prior to that, Contributing status in the King Spadina HCD Plan, which would be consistent with other similar properties nearby.

On that basis it was decided that the proposal for redevelopment of this site would be prepared considering this as a non-contributing property and using the guidelines for non-contributing properties in the King Spadina HCD to inform the design.

Some consideration was given to partial retention of the street facades of the building to commemorate its history on site, however, in its altered form, with the loss of all original architectural detailing and a small bay size this would detract from the objective of creating a building appropriate for this location, a gateway site to the Spadina Avenue Character Sub-Area of the King Spadina District.

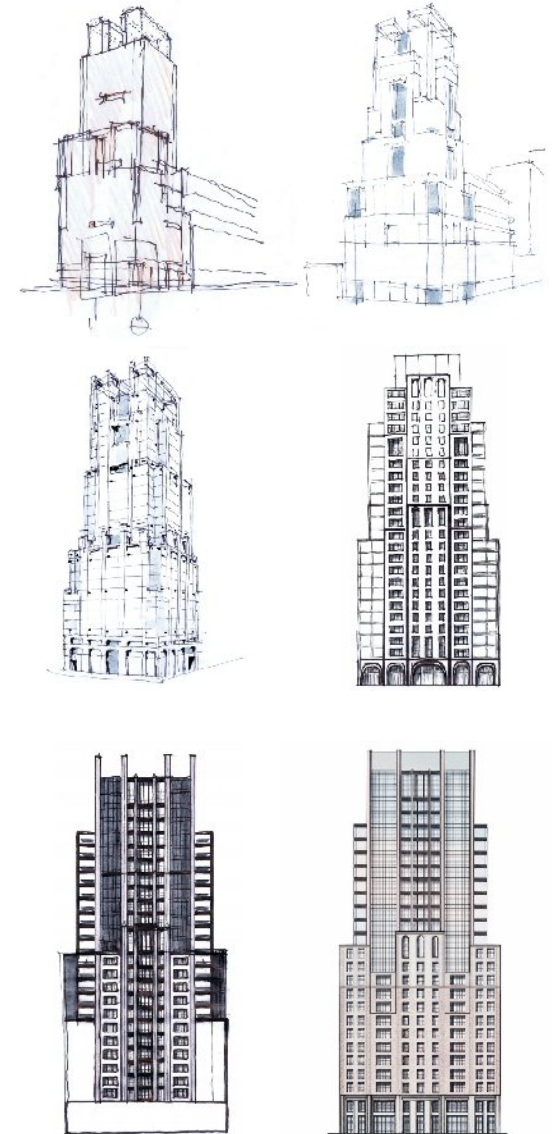
Based on these considerations it was believed a building that reflected the simple grid based “warehouse” period genre of design applied throughout the District generally and a character of the Spadina Avenue Sub-Area and the stepping form of buildings of the same period would appropriately and better contribute to the context as it evolves.

Context

The impact of placing a higher building on this site is recognized as set out above, however, the design and form of the proposed building is intended to mitigate this impact.

Several options for the layout, grid size, stepping form, location of step backs, cornice lines, height and detailing were considered and informed the final version in the proposal illustrated in this HIA.

The building is designed in a traditional form with references to traditional detailing and materiality in a contemporary interpretation of



75. Multiple studies of form, massing, height and design were undertaken by PGA and Audax. These sketches by Audax illustrate some of the exploration resulting in the current design .

the typology with a detailed design, symmetrical arrangement of the facades and stepping form of the proposed development.

This approach is similar in concept to the form and detailing of the recent development across Spadina from this property, The Morgan, and reinforces the primary character of Spadina established by the principal warehouse buildings from the early 20th century to the south, the Fashion Building, The Spadina Building and the Balfour Building plus others. The elevations are based on a grid of bays delineated through the traditional use of vertical pilasters and horizontal spandrels forming a punched window grid pattern across all facades.

The middle of the building is divided into two parts. The lower shaft is defined by a “cornice” line with step backs in the massing at the 14th floor, slightly above the historic buildings identified above but in close alignment with the neighbouring buildings, the District Lofts to the east, The Morgan to the west and other contemporary developments to the west on Richmond Street existing or under construction. This reinforces the street wall height emerging in the area. A stepped back upper middle rises above to 2 floors with a 26th floor penthouse and roof top mechanical rooms.

The material palette similar to design features and form similarly reflect the character of the area. Walls are largely of brick with cast stone elements defining the building base, middle cornice and top. Windows are divided by mullions in groups of 2 or 3 to have a vertical orientation reminiscent of traditional vertical double hung windows.

Aesthetically, I believe this proposed design mitigates much of the impact of a taller building on this site, will fit well into the District and together with the Morgan create a distinctive, responsive northern Spadina gateway into the King Spadina District framed by these two projects with heritage derivative designs.



76. Perspective view of proposed building in context, looking south on Spadina Ave. from Queen St. W. Audax.



77. Model view of proposed building in context, looking north on Spadina Ave. from south of Adelaide St. W. Audax.

9.0 Conservation Strategy

As the current building is proposed to be removed to make way for the redevelopment of the site, this HIA does not detail the condition of the existing building or set out physical conservation strategies for it. However, I do recommend that an Interpretive Plan be prepared and that Record Photographs be taken and submitted for archival purposes to conserve the storey of the evolution of this property.

10.0 Interpretive Plan

The character and buildings of this site have evolved through time, from a row of early townhouses on a broad landscaped boulevard when this area was primarily low rise residential, through a 2 storey 7 bay retail showroom and office building which was altered and reduced in sized to accommodate a realigned Richmond Street, to the current proposal for a 25 storey mixed use residential-over-retail development. These changes parallel the changes in the district generally and the evolution of King Spadina

Although the current building is not typical of the significant warehouses and light manufacturing buildings that grew up in King Spadina after the great fire of 1903, is altered and is proposed for demolition, I believe that interpreting the history this site for its future residents and visitors, to commemorate this evolution, is appropriate and worthwhile.

I recommend that an Interpretive Plan to the satisfaction of the City of Toronto be developed to conserve the storey of the site with interpretive panels or other means of telling the storey located on site in a publicly accessible location.

11.0 Record Photographs

Prior to the issuance of the final building permit for the work and before any alterations from the present condition, a set of record photographs should be taken to City of Toronto Standards and submitted to the City of Toronto for archival purposes. These will add to the visual record of the site and context and help to illustrate the Interpretive Plan.

12.0 Summary Statement

The site of this development is the site of an existing buildings at 147 Spadina Ave. This property falls within the King Spadina Heritage Conservation District (HCD) which is not yet in force, and within the HCD Plan is situated in the Spadina Avenue Character Sub-Area and is identified as Contributing. As this property was identified as contributing it was listed as part of the batch Listing (included in the Register of Heritage Properties for the City of Toronto) of all contributing properties by the City of Toronto in 2017.

My assessment of this property and building, concludes that this property like other similar properties, and additionally considering it was partially demolished in the 1960s and altered in the 1980s removing much of its stylistic features, should not have been identified as contributing and by extension should not have been Listed. On this basis It is my opinion the development could be assessed as a new development on a non contributing site.

The proposed building uses all of the site including a small service access space to the east of the existing building up to the blank end walls of District Lofts at 388 Richmond St. W adjacent to the east. District Lofts anticipated future development on the site of 147 Spadina in creating blank end walls as well as knock out panels in the parking level garage for future access to the parking levels of 147 Spadina, which are utilized in this proposal.

The design of the building is in a traditional style reflective of the 1920-1930 period with a symmetrical stepping form and Industrial Gothic derivative decorative features. This approach reflects the character of the Spadina Avenue Character Sub-Area, established by buildings such as The Balfour Building, The Fashion Building and The Tower Building nearby to the south. The building has a 2 storey base expression, A shaft divided at a step in the form at the 14th floor and a stepping top roof line. The step in the shaft reflects the height of the heritage commercial buildings just noted.

This traditional approach to the design fits very well in the local context. It is a similar approach to what was taken on the opposite side of Spadina at The Morgan, 438 Richmond St, and I believe works better to reinforce the traditional warehouse form, aesthetic and general character of the Spadina Character Sub-Area. Care in the design has been taken to animate the north wall of the building so that together with The Morgan 147 Spadina when travelling south on Spadina makes an interesting gateway to the King Spadina HCD area with two similarly designed buildings on either side of Spadina as seen in image 76 above.

Finally I believe that impacts from this project are minor. The proposal does add height to this location in an area that has evolved to include higher buildings and is at the NW corner of the east district which includes many higher developments (image 65). Further the height is mitigated through the stepping form of the building. Shadowing from the building does extend in an arc north of the site and at the spring and fall equinox just reaches to the north side of Queen St. in the early morning, passing quickly into the intersection then across Queen Street off the north sidewalk onto the roof tops of buildings to the North East. This is a minor impact. Shadowing does not reach to Queen St. in the summer as indicated at the summer solstice.

It is my opinion this is a well considered building of an appropriate design for its location that aesthetically fits well in its context.

13.0 Bibliography

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www.dictionaryofarchitectsincanada.org

"Denison & Stephenson" entry in Biographical Dictionary of Architects in Canada, 1850-1950

www.dictionaryofarchitectsincanada.org

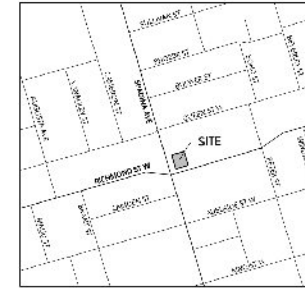
"William Alexander Langton" entry in Biographical Dictionary of Architects in Canada, 1850-1950 www.dictionaryofarchitectsincanada.org

"Ashton Spencer Pentecost" entry in Biographical Dictionary of Architects in Canada, 1850-1950

www.dictionaryofarchitectsincanada.org

"St. Margaret's Church" entry at <https://lostanglicanchurches.wordpress.com/category/st-margarets-spadina/>
1877.

14.0 Selected Architects Drawings



KEY PLAN

ARCHITECTURAL DRAWING LIST	
A-000	COVER SHEET
A-001	STATISTICS, TGS
A-002	CONTEXT PLAN
A-003	SURVEY
A-004	SITE PLAN
A-005	PARKING CIRCULATION PLAN
A-101	FLOOR PLANS
A-102	FLOOR PLANS
A-103	FLOOR PLANS
A-104	FLOOR PLANS
A-105	FLOOR PLANS
A-106	FLOOR PLANS
A-107	ROOF PLAN
A-201	CONTEXT ELEVATIONS
A-202	NORTH & SOUTH ELEVATIONS
A-203	EAST & WEST ELEVATIONS
A-301	BUILDING SECTIONS
A-901	ORTHOGRAPHIC VIEWS



147 SPADINA AVENUE
TORONTO, ONTARIO

ARCHITECT	BUILDER	HERITAGE	PLANNING	LANDSCAPE	CIVIL	TRAFFIC	STRUCTURE	MECHANICAL / ELECTRICAL
AUDAX ARCHITECTURE INC.	HULLMARK	PHILIP GOLDSMITH	BOUSFIELDS INC.	THE PLANNING PARTNERSHIP	R.V. ANDERSON	BA GROUP	RJC LTD.	SMITH + ANDERSEN
1002 DUNDAS STREET W, TORONTO, ONTARIO M5R 3P8 (416) 862-8403	474 WILKINGTON STREET W, SUITE 200 TORONTO, ONTARIO M5W 1E3 (416) 510-1700	46 DORSSET STREET E, PORT HOPE, ONTARIO L1A 1E3 905-883-0839	3 CHURCH STREET, TORONTO, ONTARIO M5R 1M2 (416) 947-9744	1755 BAY STREET, SUITE 500 TORONTO, ONTARIO M5R 2A9 (416) 975-1556	2001 SHEPPARD AVENUE E, SUITE 300 NORTH YORK, ONTARIO M2J 4Z8 (416) 497-8600	45 ST. CLAIR AVENUE W, SUITE 300 TORONTO, ONTARIO M4V 1K9 (416) 961-7110	100 UNIVERSITY AVENUE, NORTH TOWER, SUITE 300 TORONTO, ONTARIO M5J 1V6 (416) 977-5335	100 SHEPPARD AVE. EAST, SUITE 1100 TORONTO, ONTARIO M2N 6N5 (416) 487-8151

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2023.09.06
2	REVISIONS	2023.09.06
3	REVISIONS	2023.09.06
4	REVISIONS	2023.09.06
5	REVISIONS	2023.09.06
6	REVISIONS	2023.09.06

COVER SHEET

147 SPADINA AVENUE	
TORONTO, ONTARIO	
SCALE:	1:400
DATE:	2023.09.06
DRAWN BY:	AUDAX
CHECKED BY:	PHILIP GOLDSMITH
PROJECT NO.:	A-000



STATISTICS, TGS

STATISTICS, TGS

147 SPADINA AVENUE
TORONTO, ONTARIO

A-001

147 SPADINA AVENUE
PROJECT NUMBER: 23-020-147-001
PROPOSED DEVELOPMENT: 147 SPADINA AVENUE

Table with 2 columns: ITEM, COMMENTS. Lists project details such as owner, address, and planning documents.

Detailed table with multiple columns including lot numbers, zoning, and various metrics related to the site and proposed development.

2.1 HERITAGE ASSESSMENT
This assessment is conducted in accordance with the Ontario Heritage Act and the City of Toronto's Heritage Conservation Act.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists nearby properties and their relevant details.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists properties within the heritage conservation area.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists specific heritage assets identified on the site.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists additional heritage assets and their significance.

Table with 3 columns: PROPERTY ADDRESS, COMMENTS, and a sub-table for building details including floor area and height.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists other buildings within the vicinity.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists heritage resources and their status.

Table with 2 columns: PROPERTY ADDRESS, COMMENTS. Lists the project's impact on heritage resources.

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications.

The Toronto Green Standard Version 2.0 (TGS2) includes a table for Site Plan Control Applications and Stand Alone Zoning Bylaw Amendment Applications. Complete the table and copy it directly into the Site Plan application as part of the application.

General Project Description table. Columns: General Project Description, Proposed. Rows: Total Gross Floor Area, Gross Floor Area of project or projects (m²), Residential, Retail, Commercial, Industrial, Recreational/Other, Total number of residential units.

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications. Table with 4 columns: Category, Required, Proposed, Proposed %. Includes sections for Automobile Infrastructure, Cycling Infrastructure, and Tree Planting & Soil Volume.



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WITH PROUDURE
"LET'S MEET AT ROLFE"

1	CONCEPTUAL SITE PLAN	2023.09.06
2	CONTEXT PLAN	2023.09.06
3	HERITAGE IMPACT ASSESSMENT	2023.09.06
4	RECOMMENDATIONS	2023.09.06

CONTEXT PLAN

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147 SPADINA AVENUE

PROJECT NO. / CLIENT NAME:
147 SPADINA AVENUE / [REDACTED]

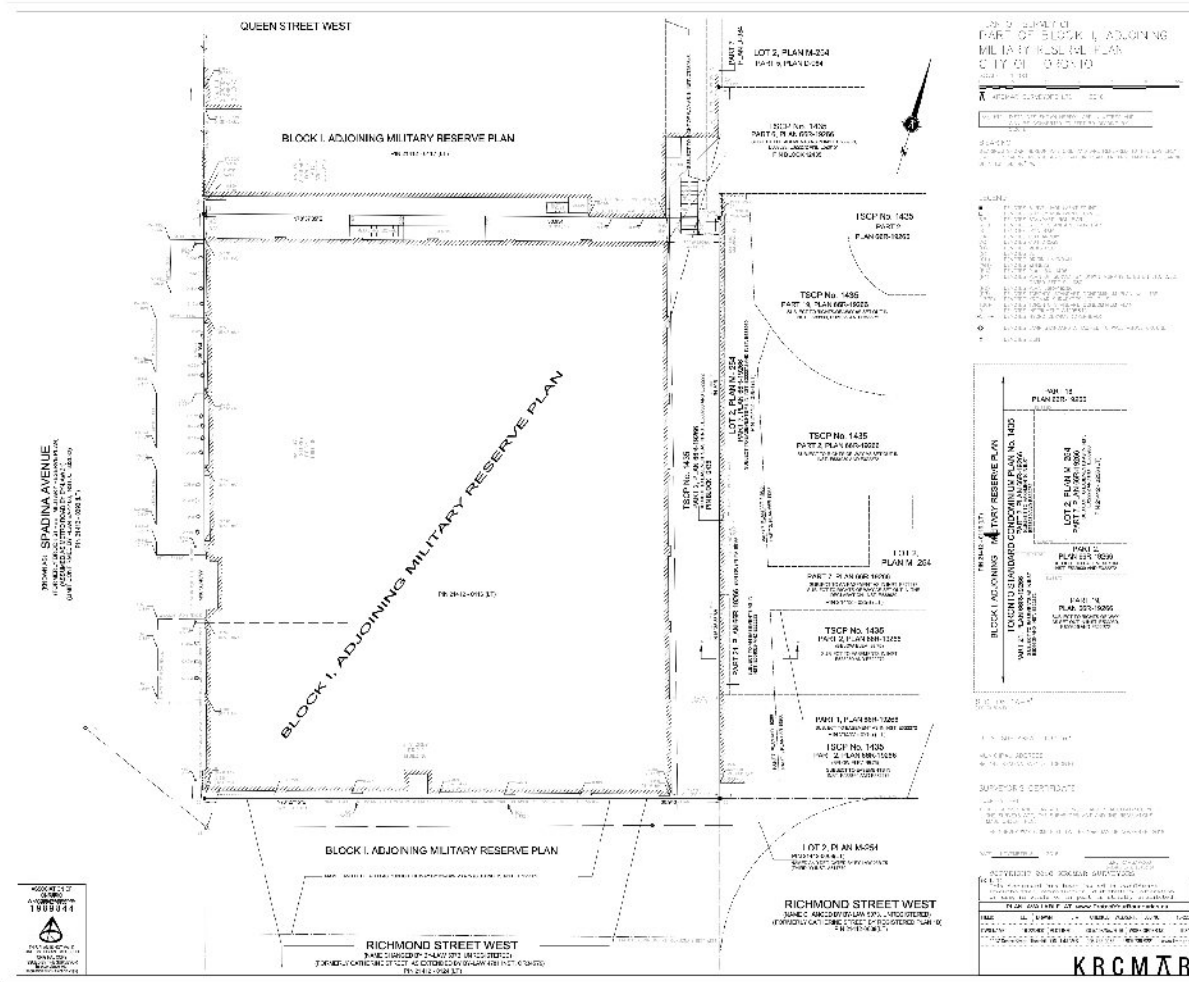
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BY: [REDACTED]

FOR: [REDACTED]

A-002



WITH PROUDURE

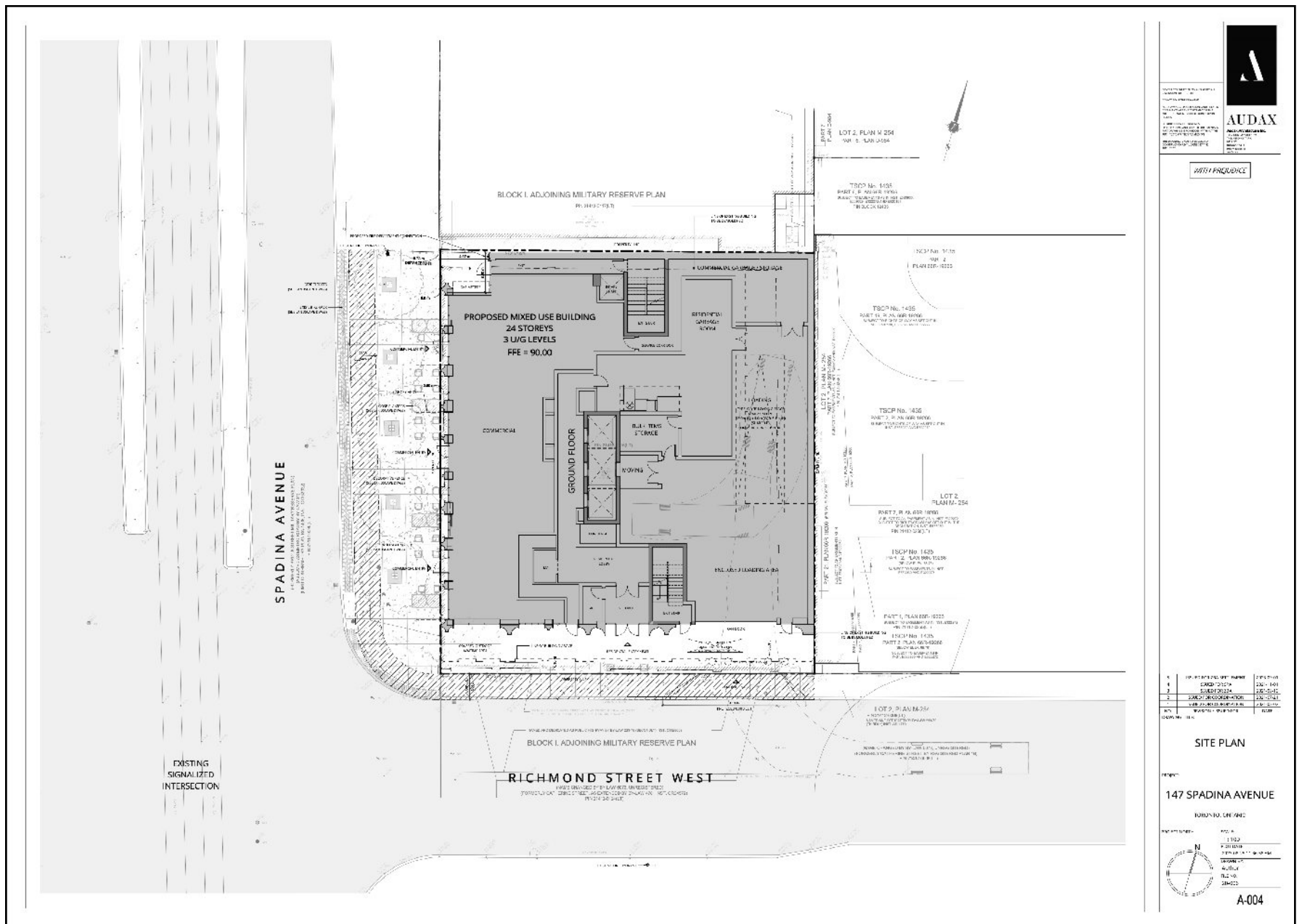
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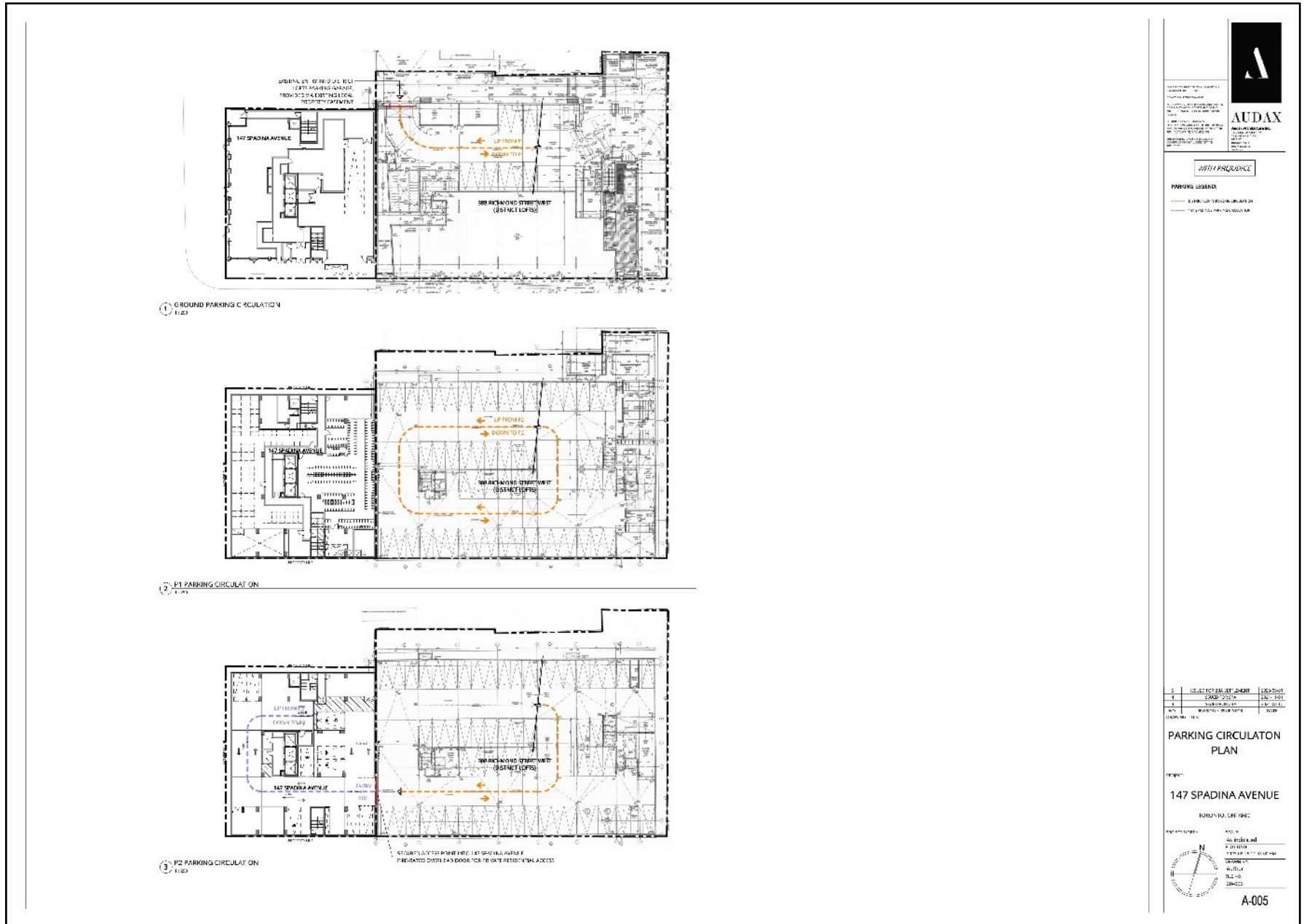
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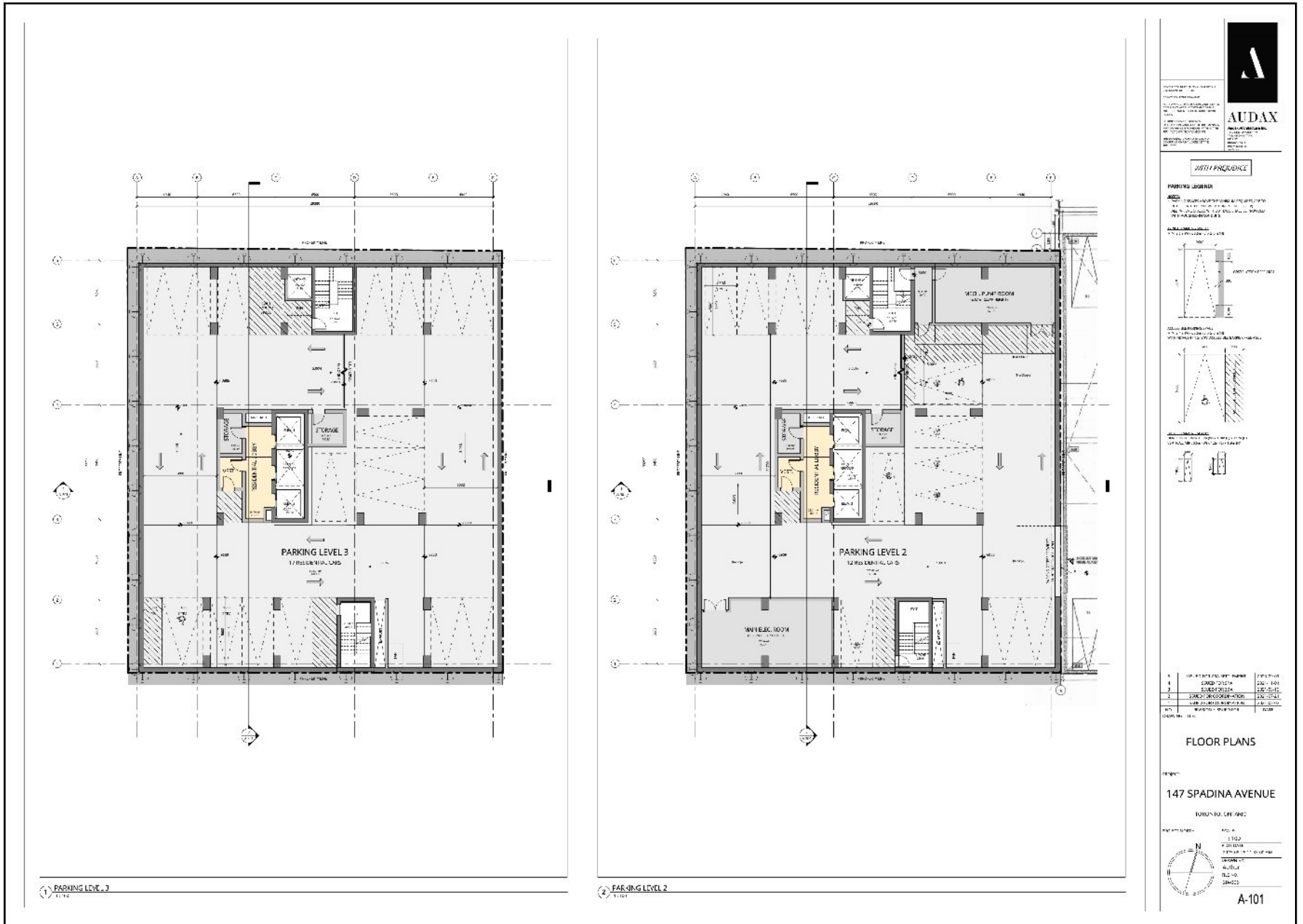
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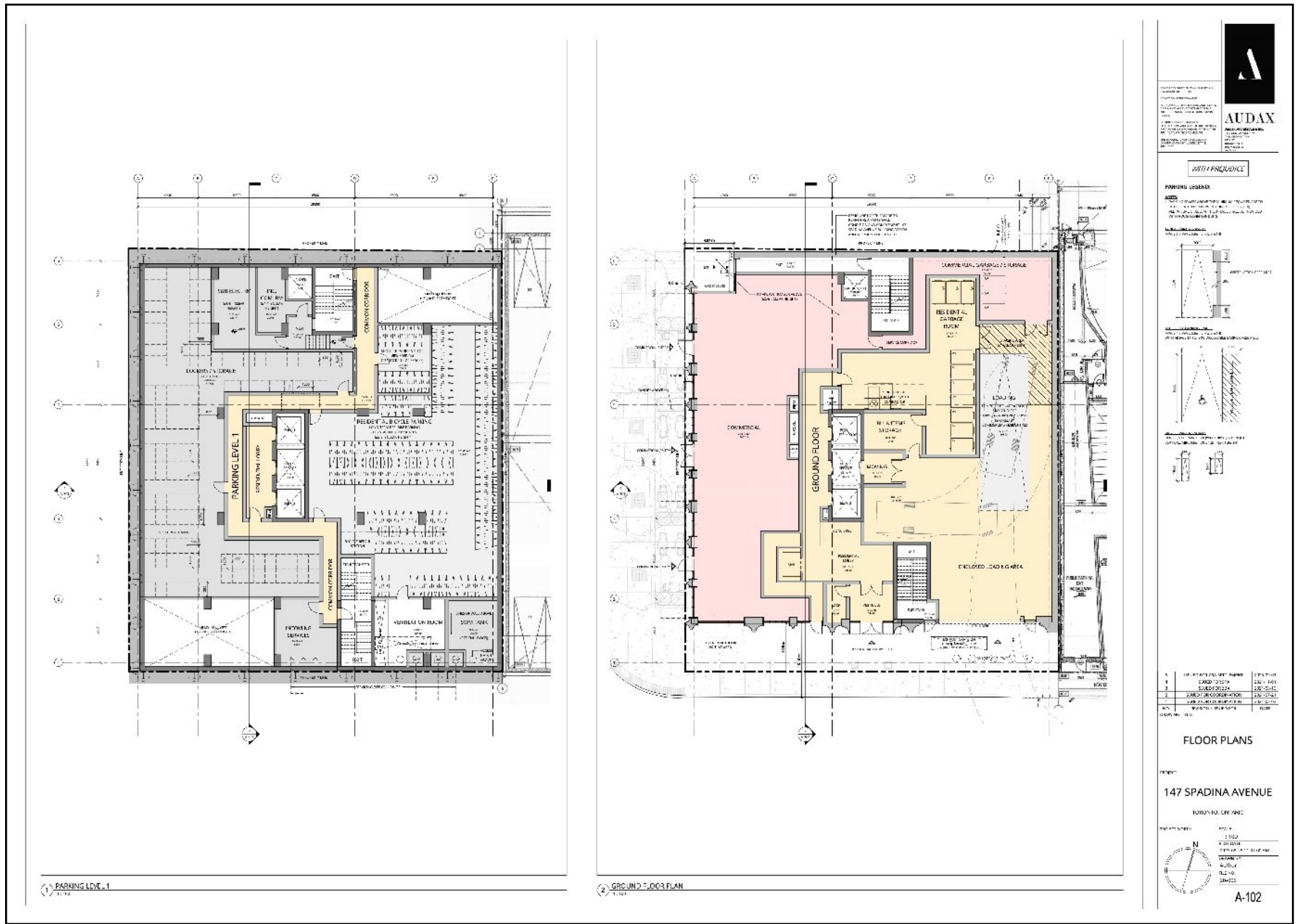
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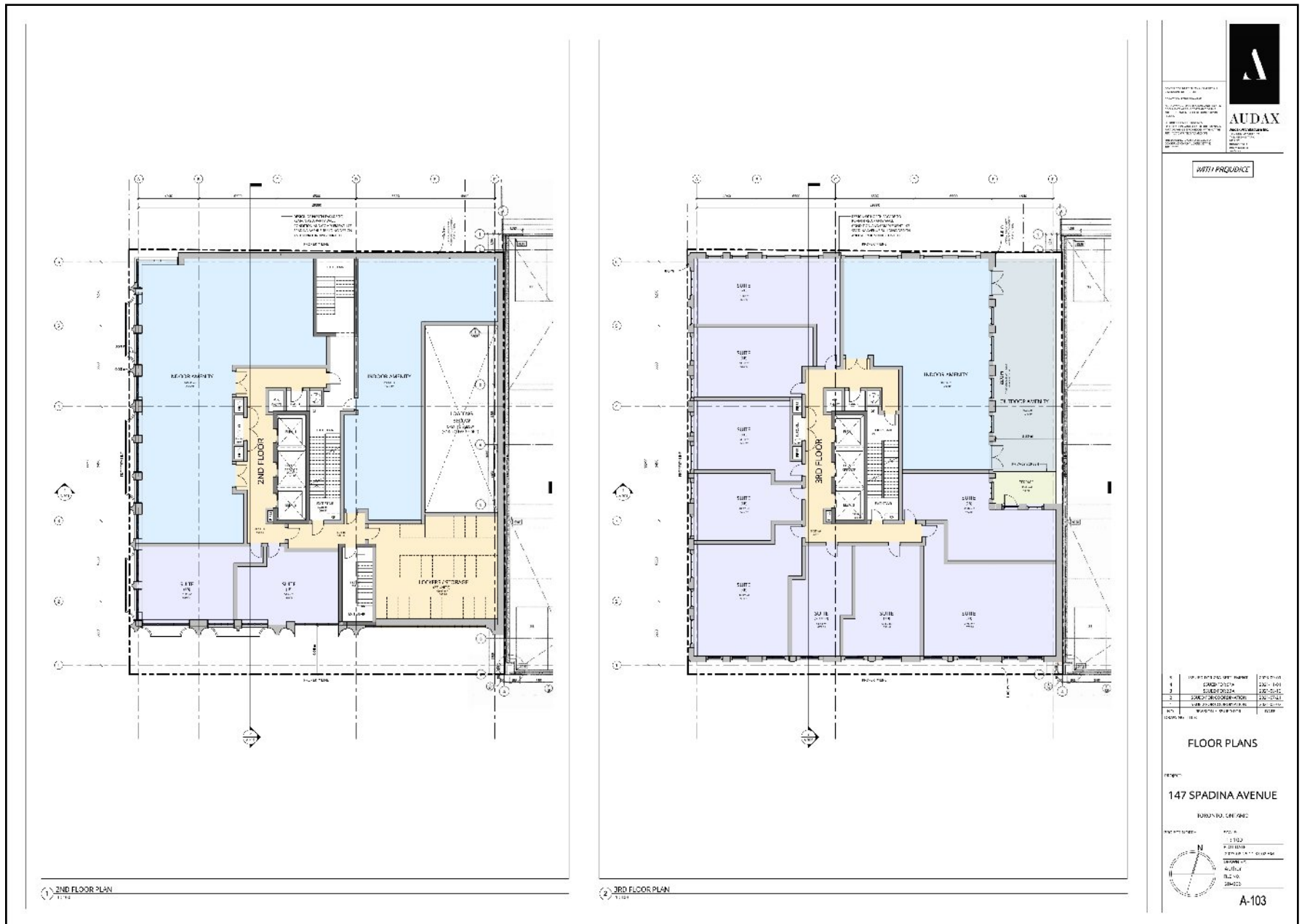
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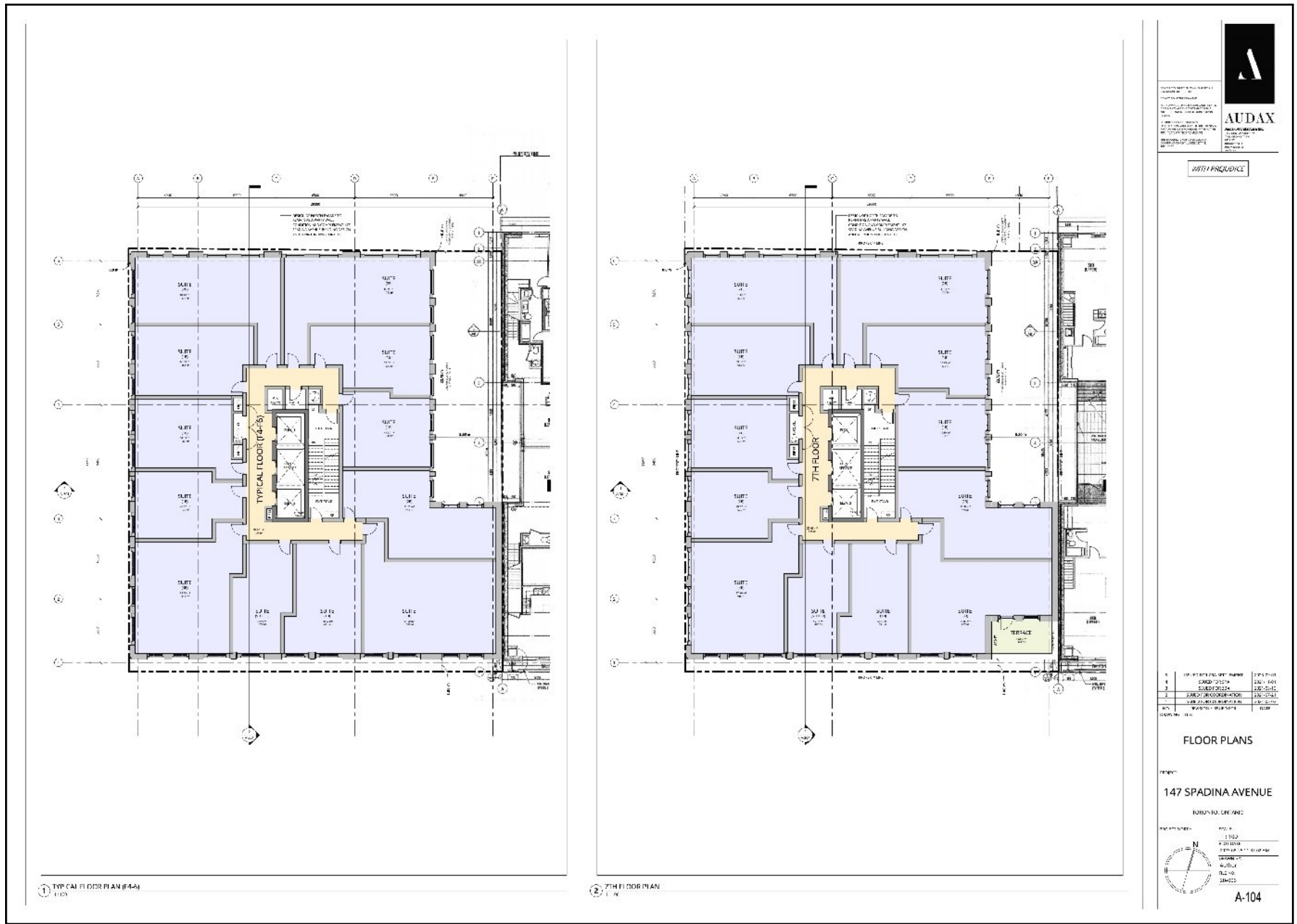












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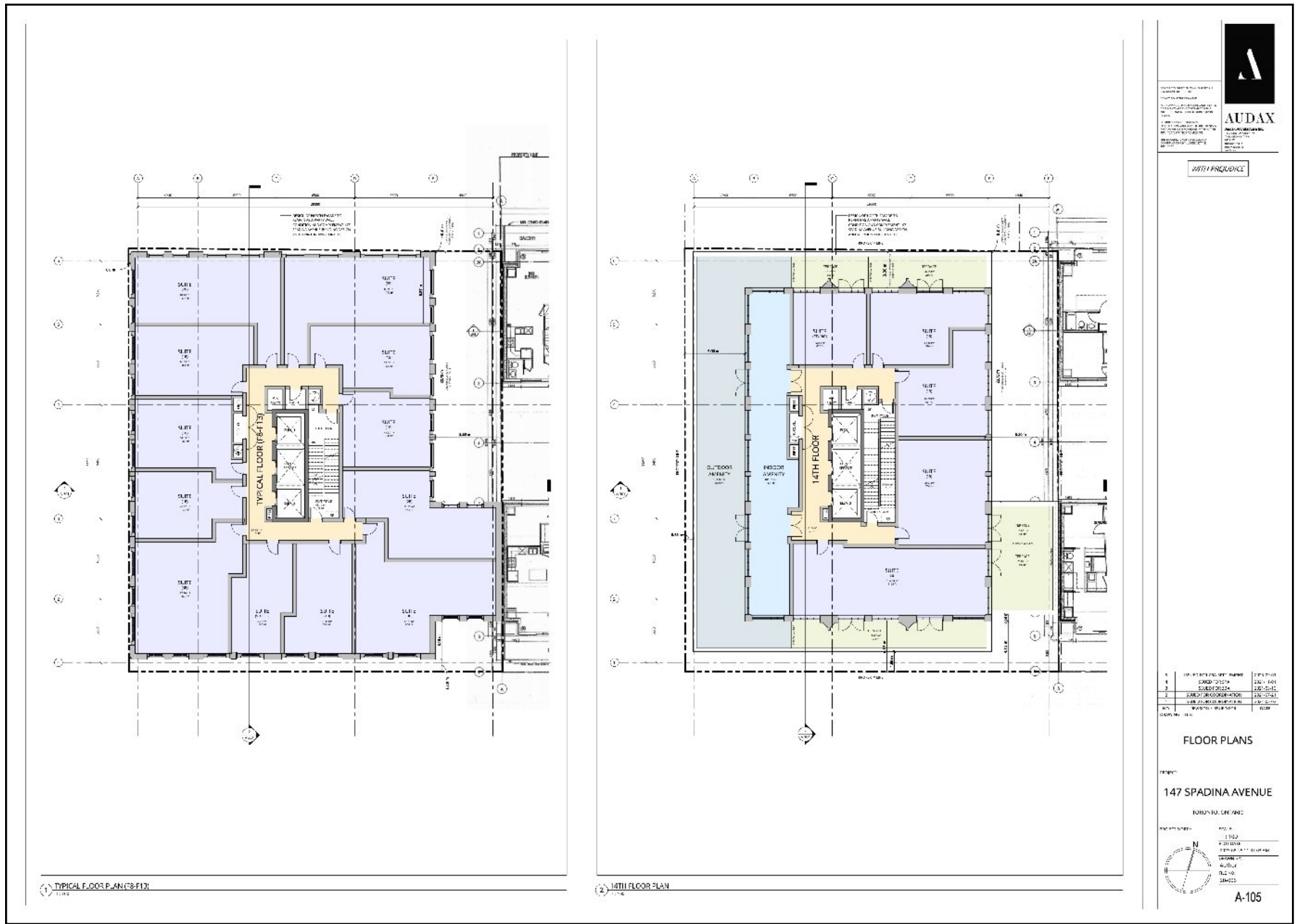
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4	CONCEPTUAL SITE PLAN	2023-09-06

FLOOR PLANS

147 SPADINA AVENUE
TORONTO, ONTARIO



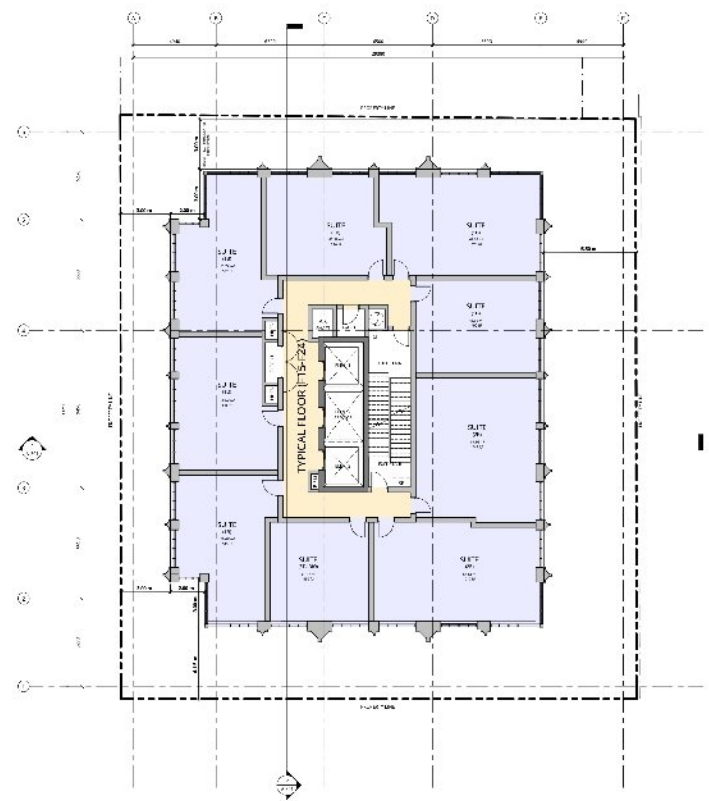
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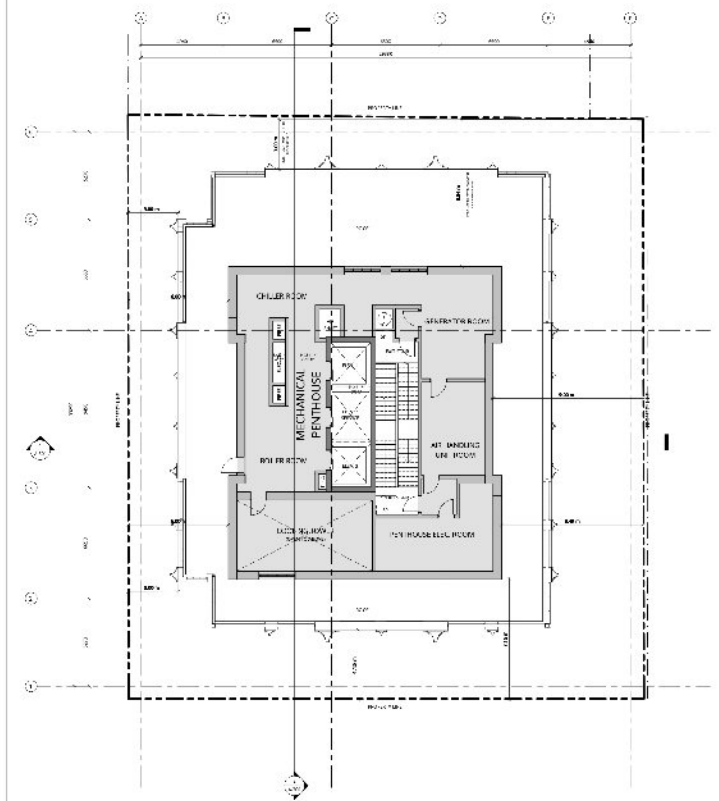


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1 TYPICAL FLOOR PLAN (15-20x)



2 MECHANICAL PENTHOUSE PLAN

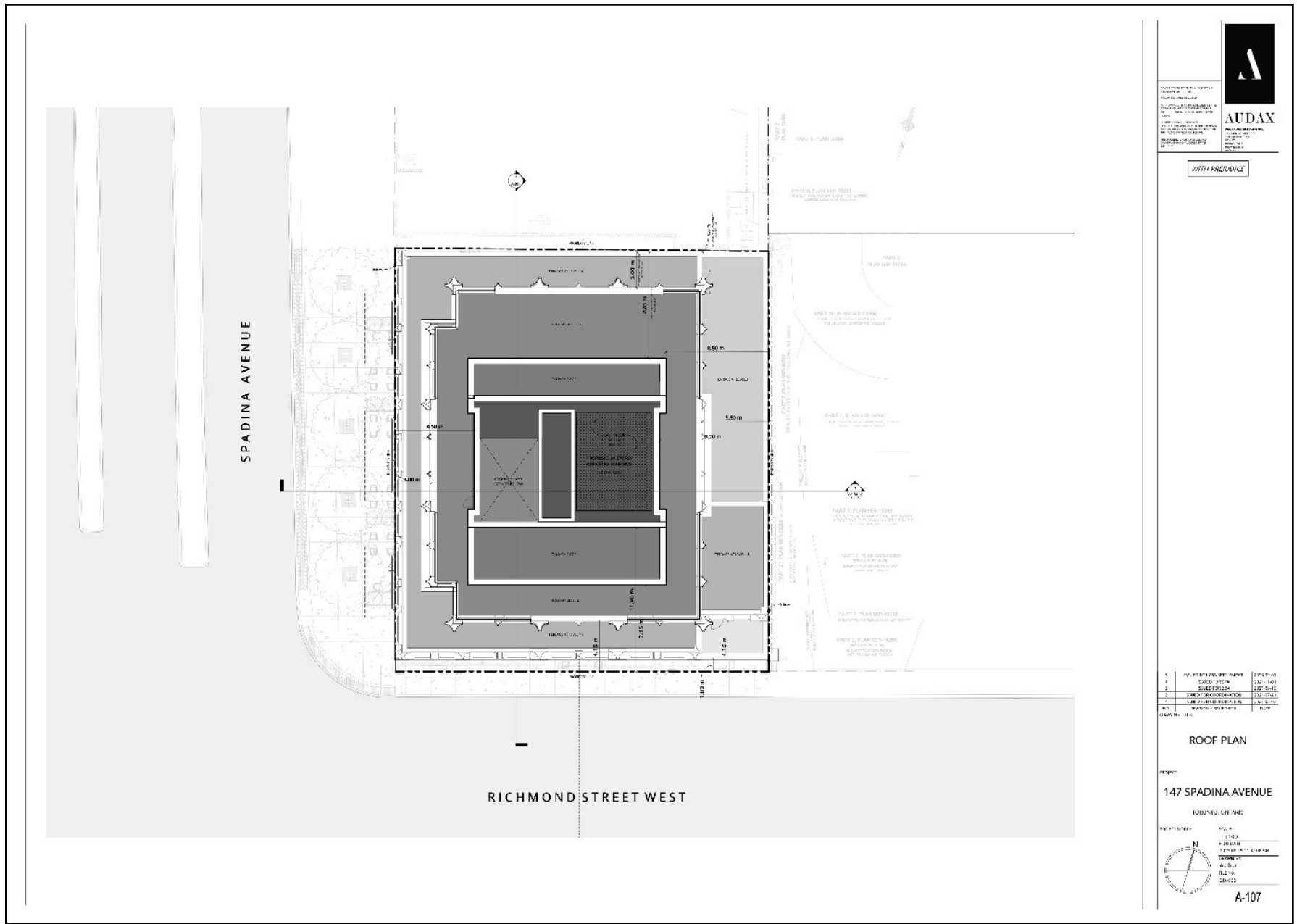
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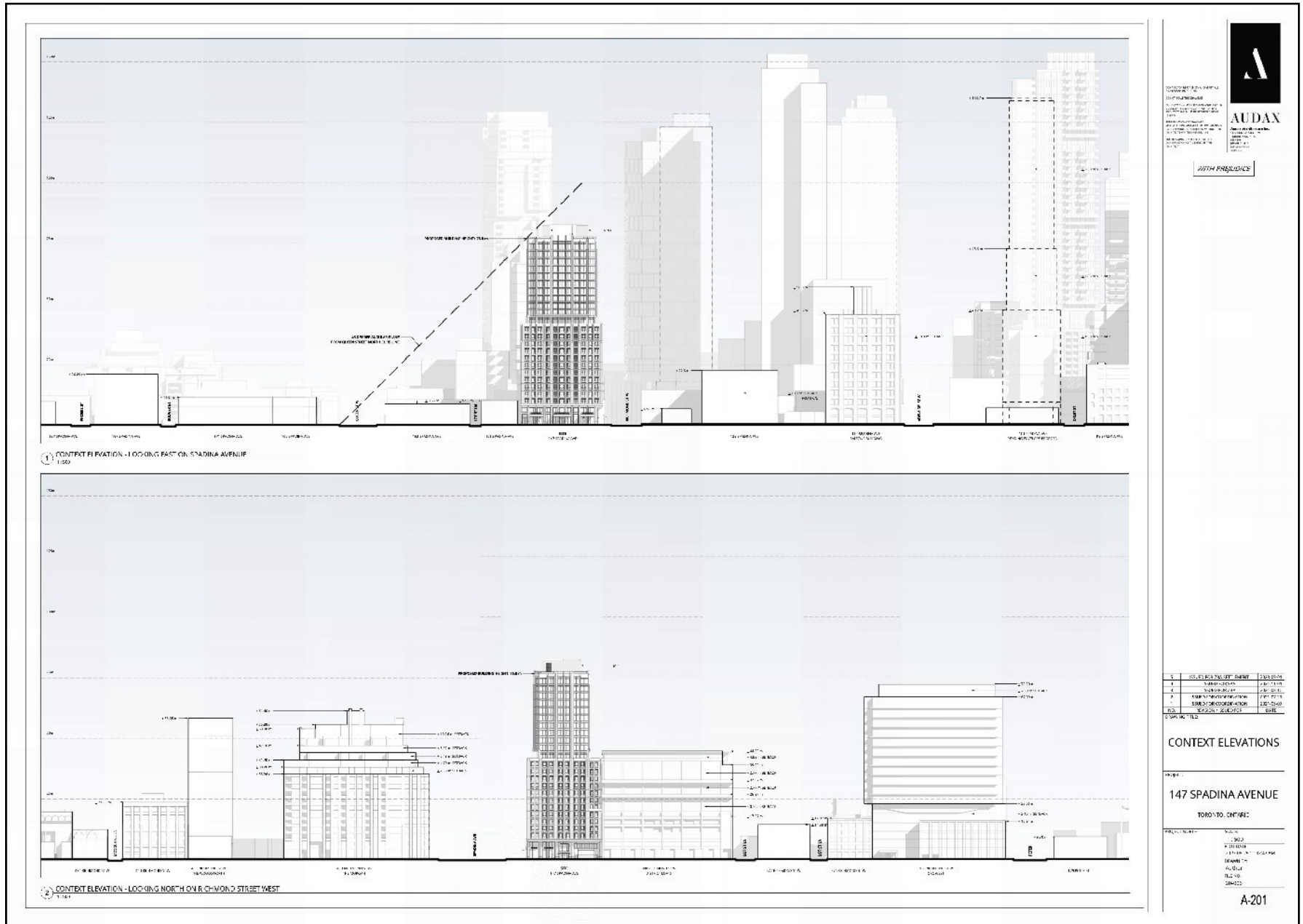
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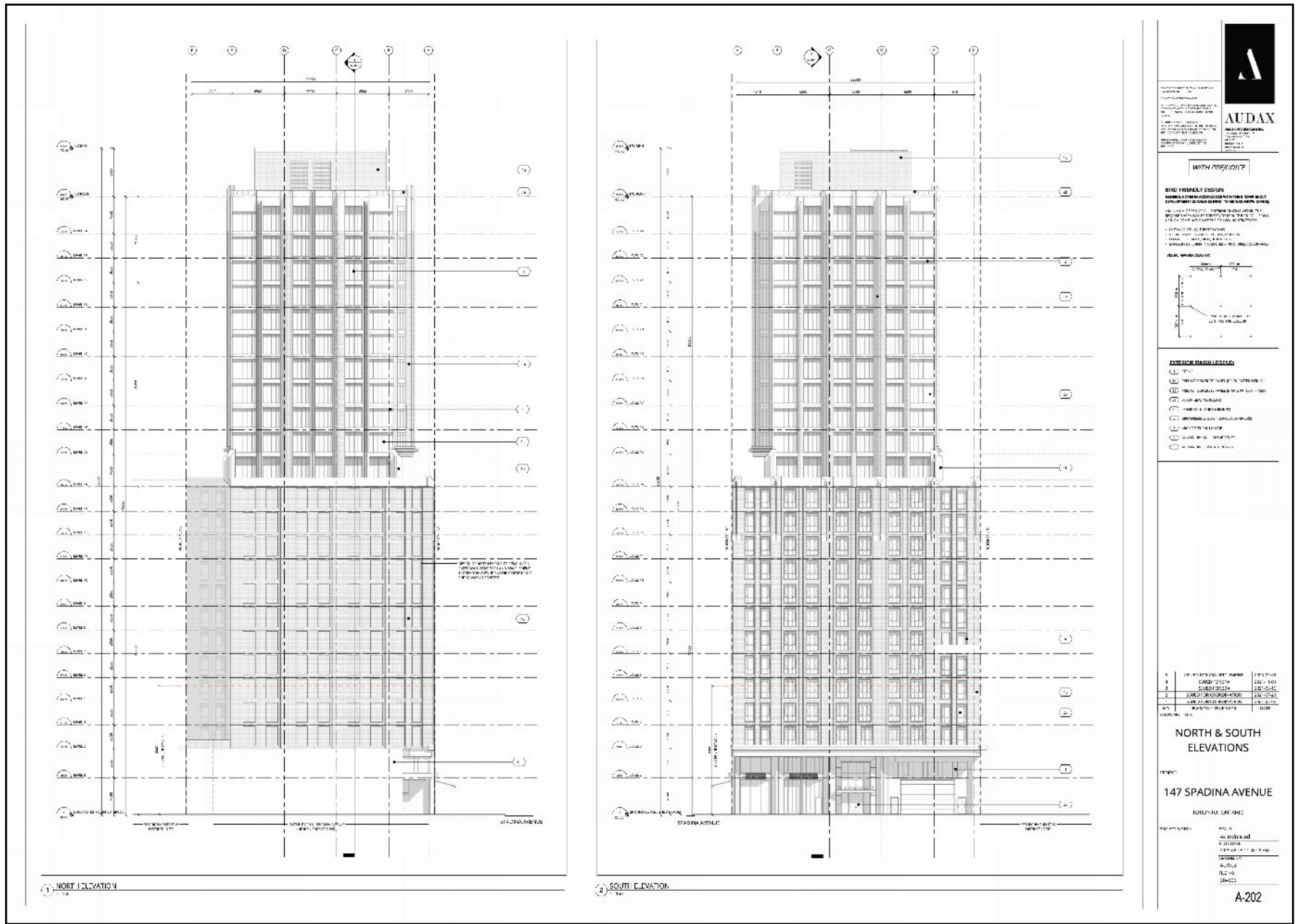
147 SPADINA AVENUE
 TORONTO, ONTARIO

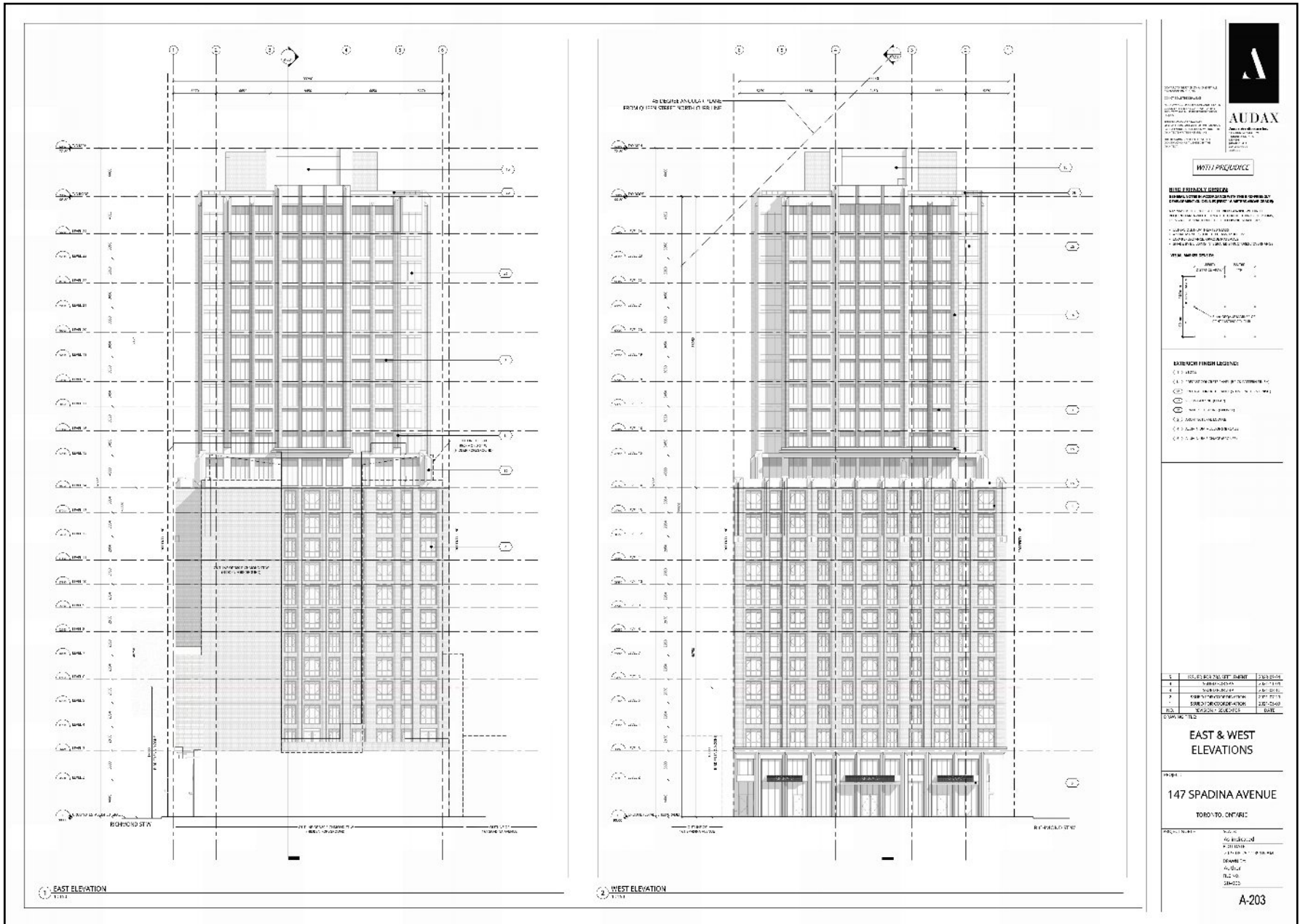


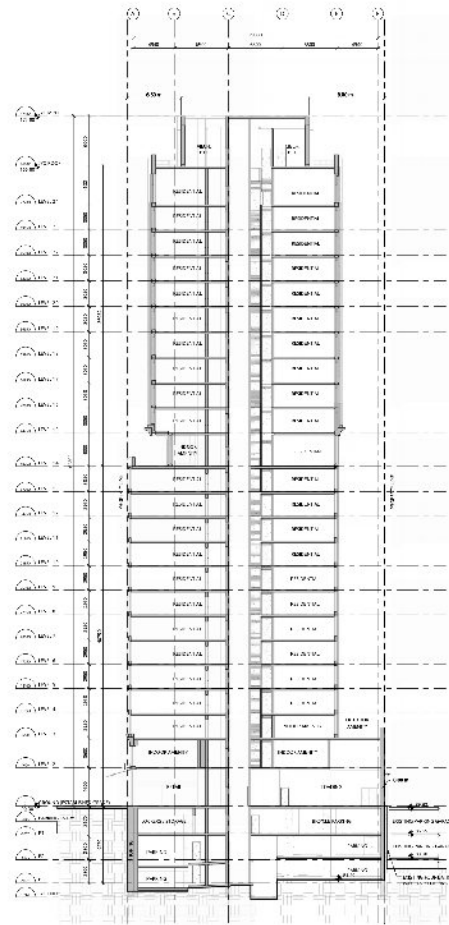
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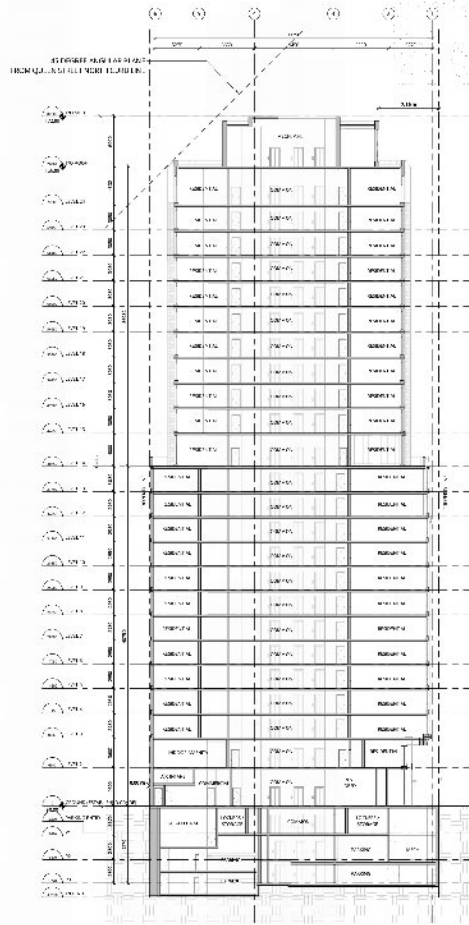








SPA-SECTION E-W



SPA-SECTION N-S



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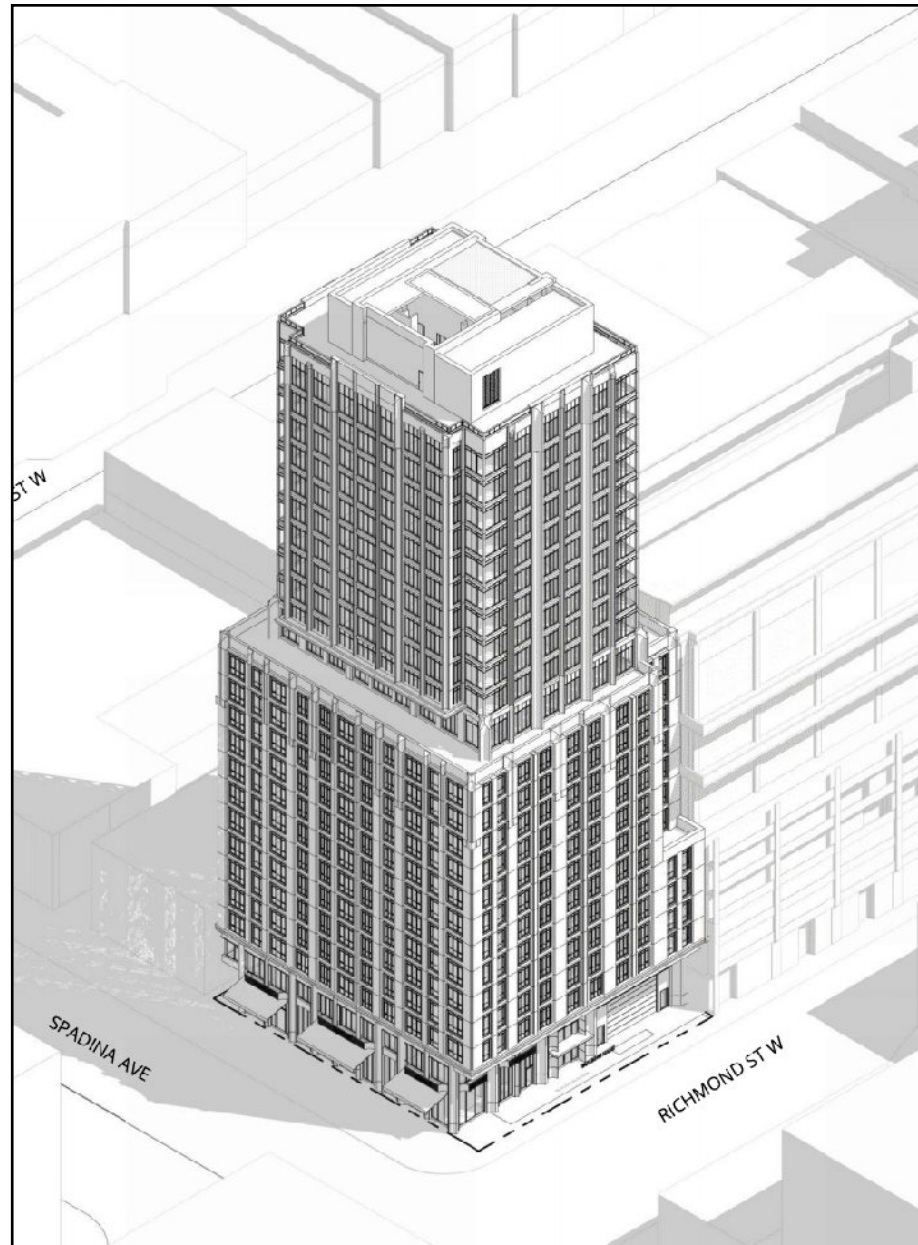
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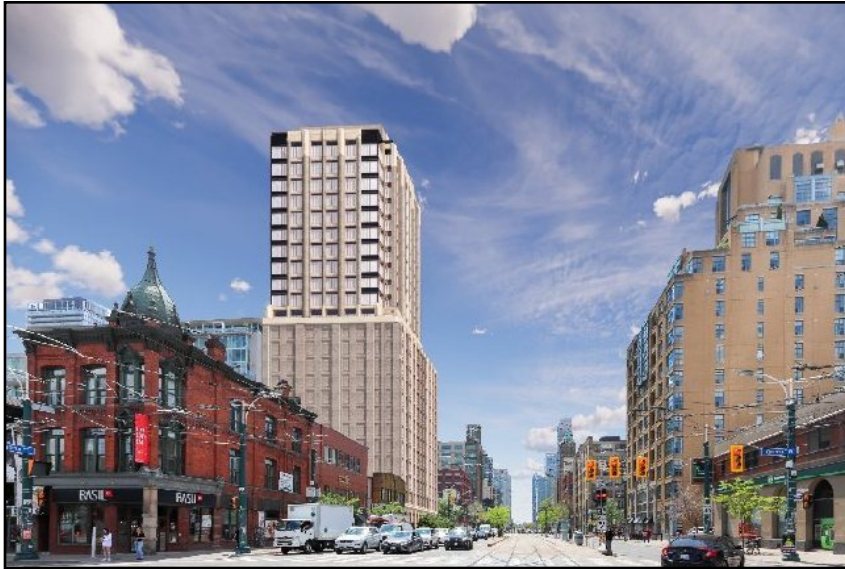
BUILDING SECTIONS

147 SPADINA AVENUE
 TORONTO, ONTARIO

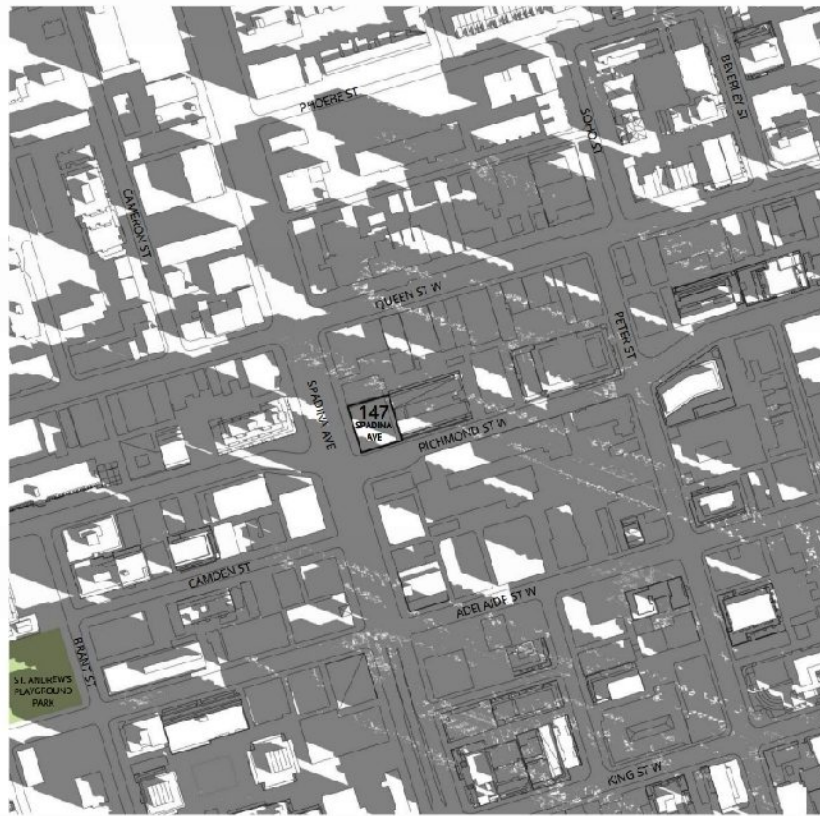
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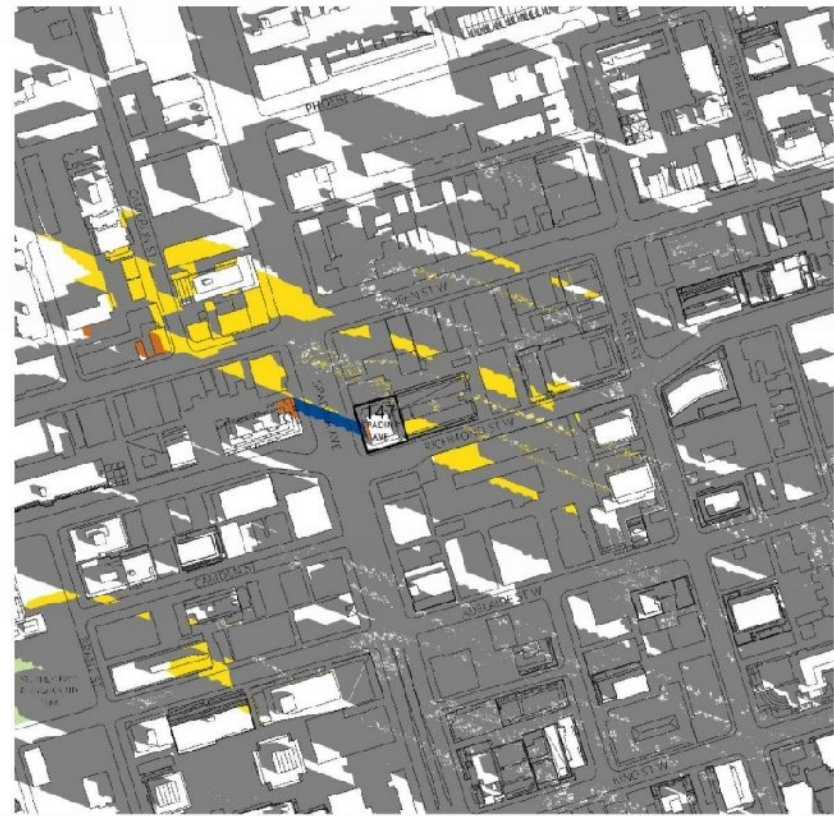




15.0 Selected Shadow Drawings



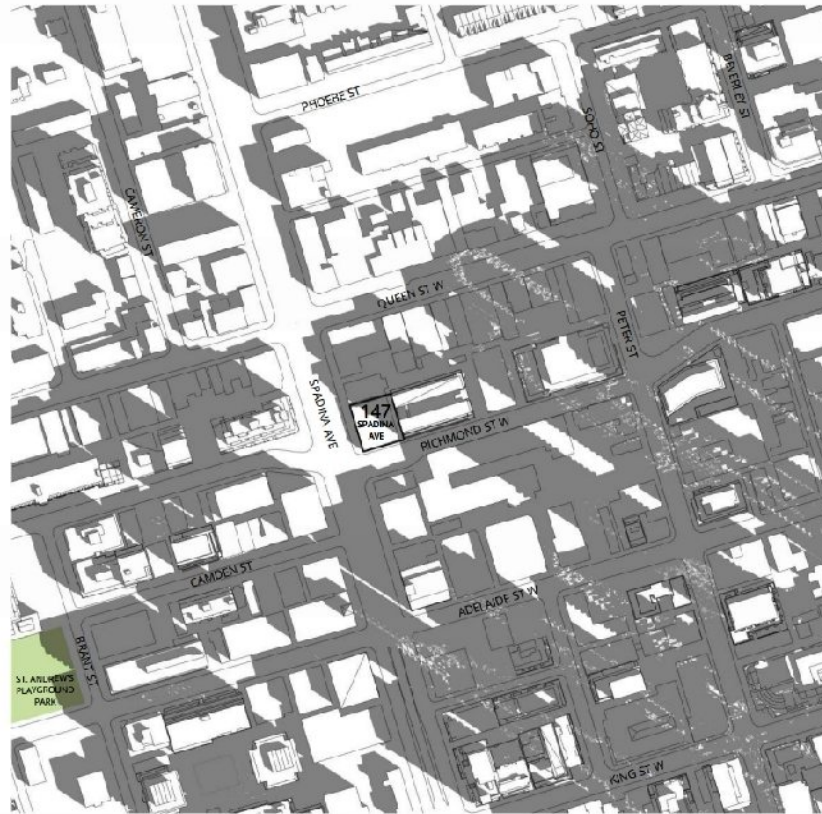
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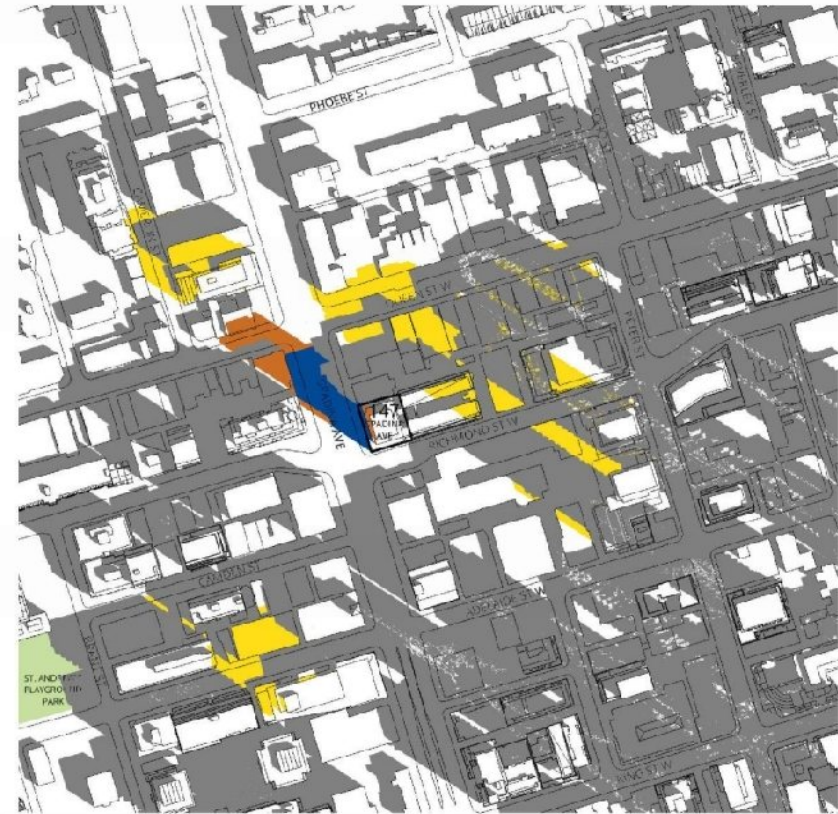
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- PROPOSED SHADOW
- APPROVED DEVELOPMENTS





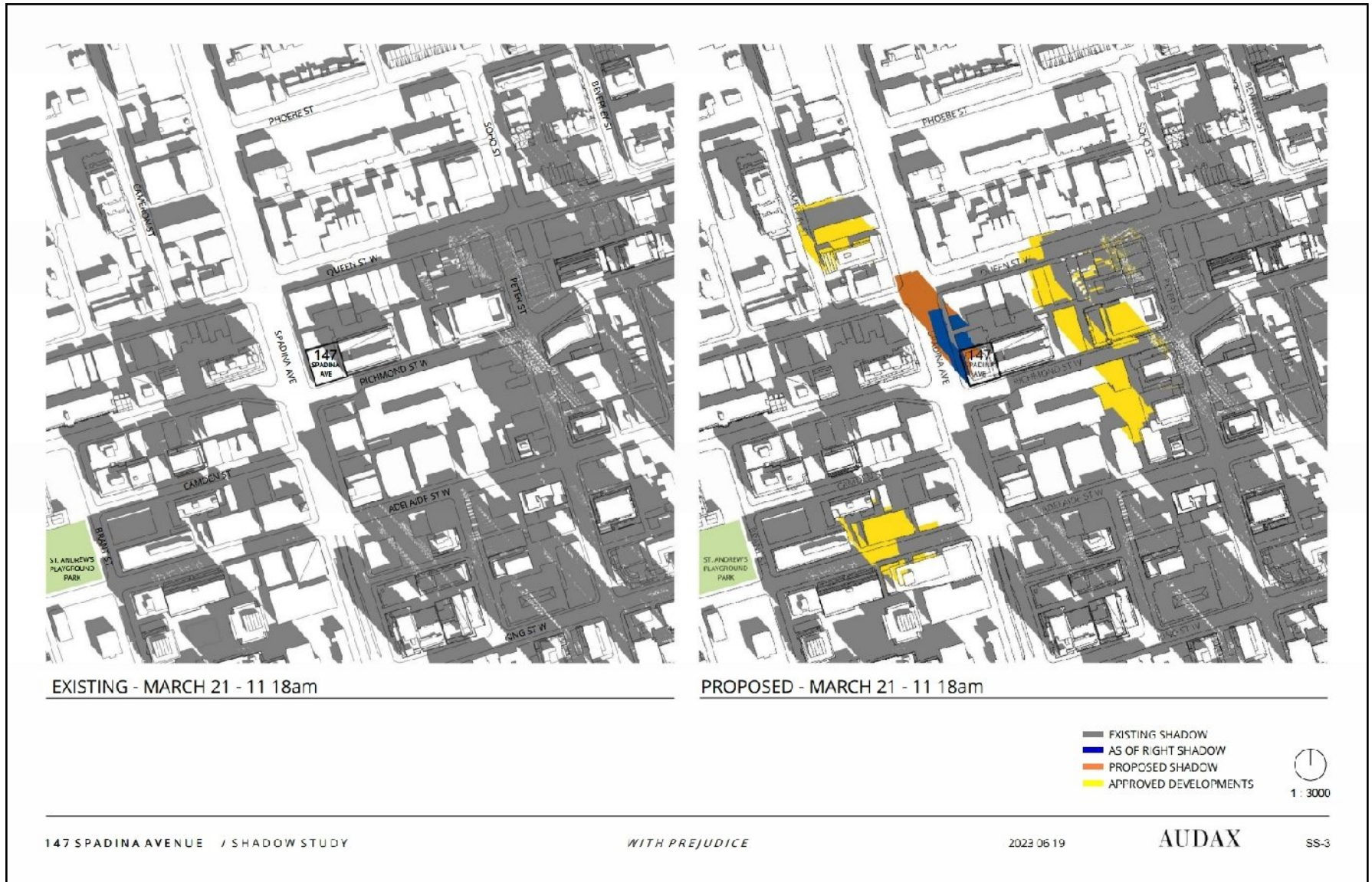
EXISTING - MARCH 21 - 10 18am



PROPOSED - MARCH 21 - 10 18am

- EXISTING SHADOW
- AS OF RIGHT SHADOW
- PROPOSED SHADOW
- APPROVED DEVELOPMENTS











EXISTING - MARCH 21 - 2 18pm



PROPOSED - MARCH 21 - 2 18pm

- █ EXISTING SHADOW
- █ AS OF RIGHT SHADOW
- █ PROPOSED SHADOW
- █ APPROVED DEVELOPMENTS





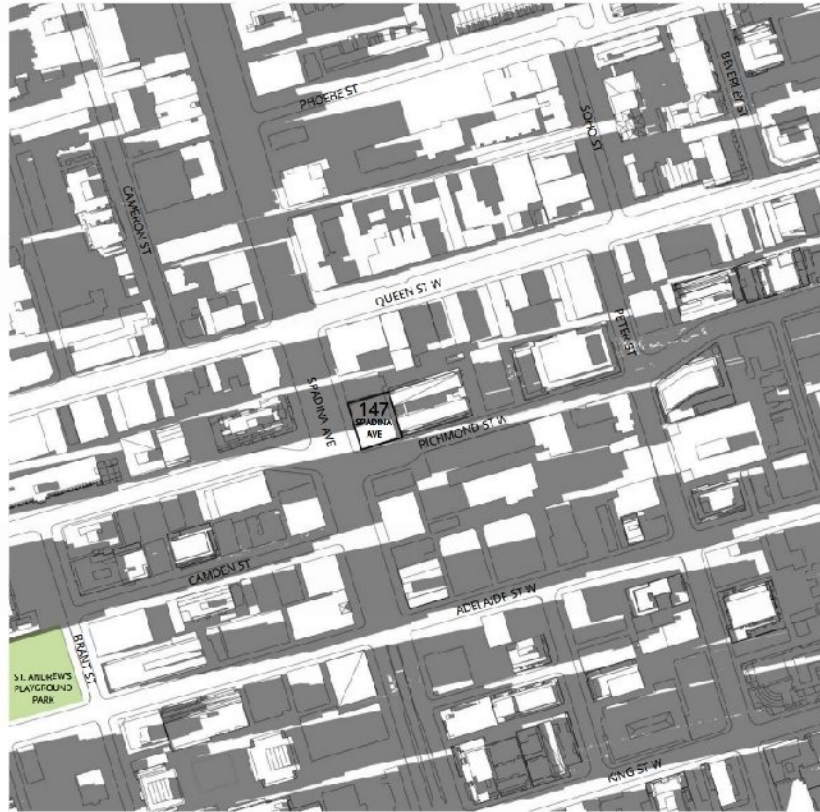
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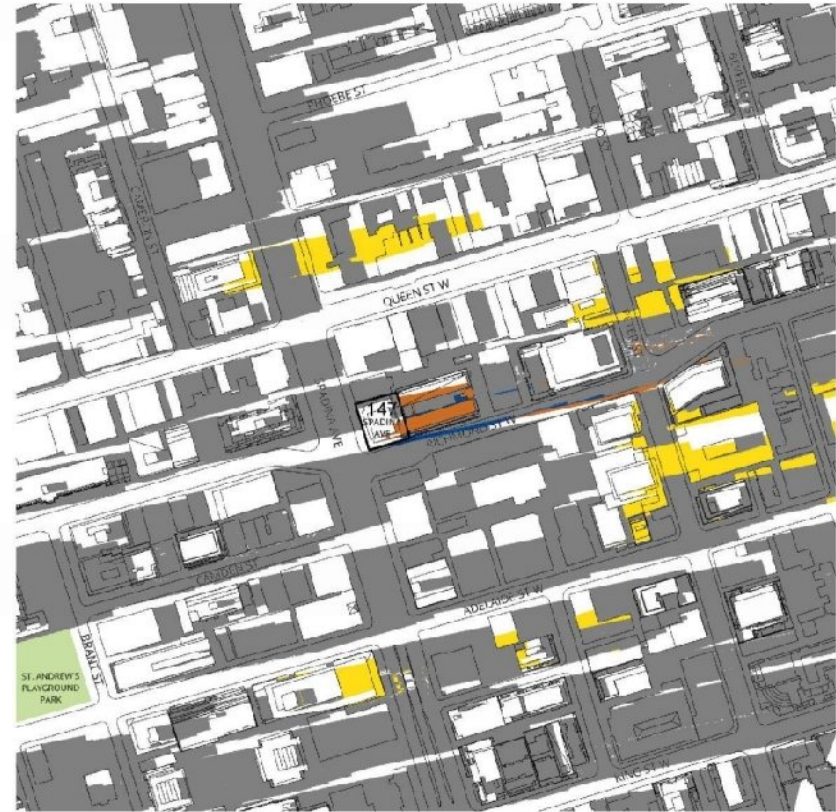
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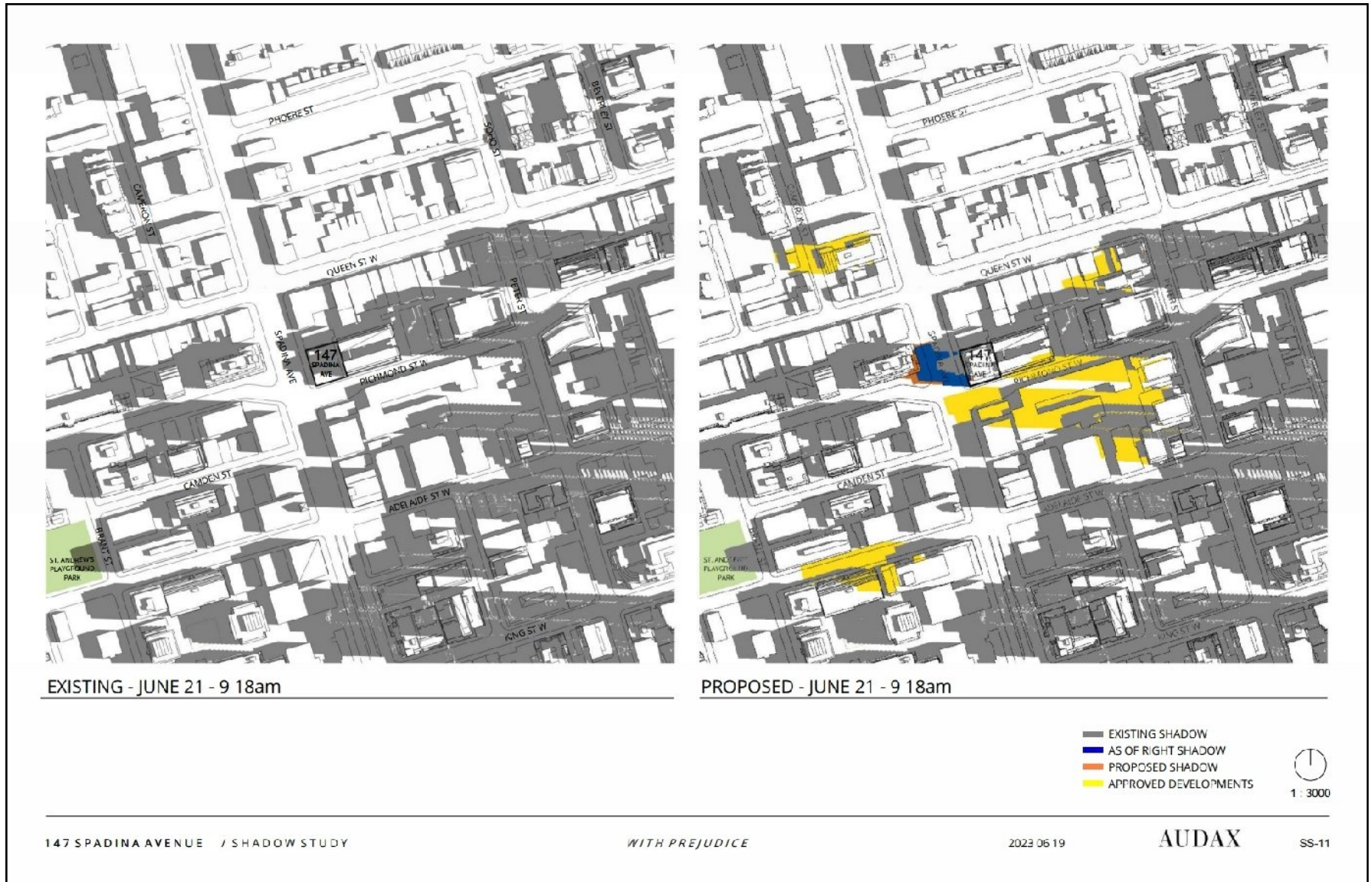
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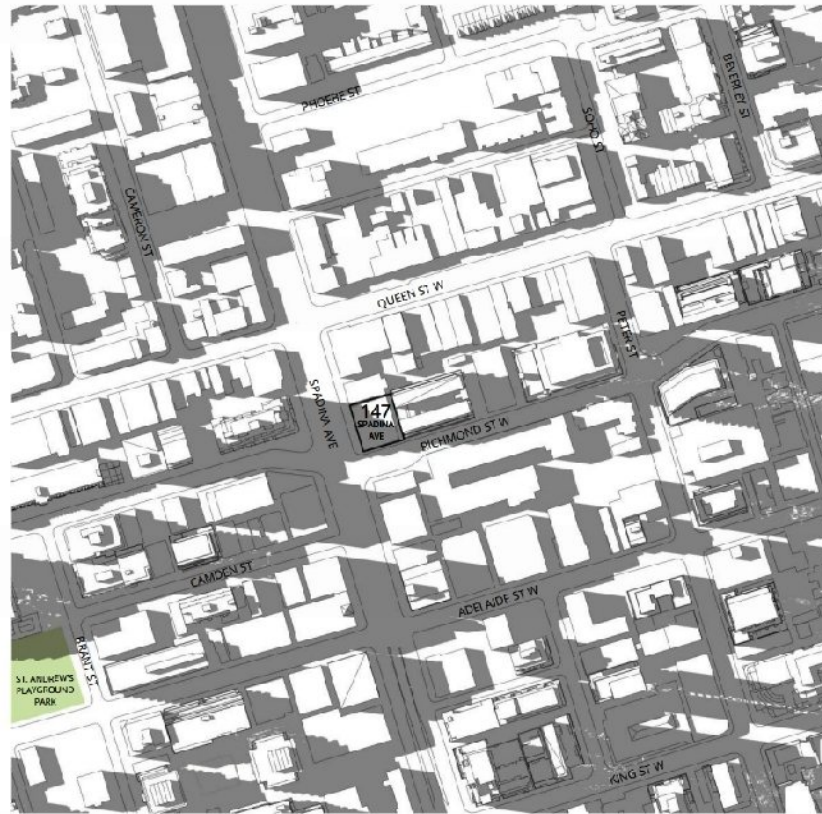












EXISTING - JUNE 21 - 6 18pm



PROPOSED - JUNE 21 - 6 18pm

- EXISTING SHADOW
- AS CF RIGHT SHADOW
- PROPOSED SHADOW
- APPROVED DEVELOPMENTS

